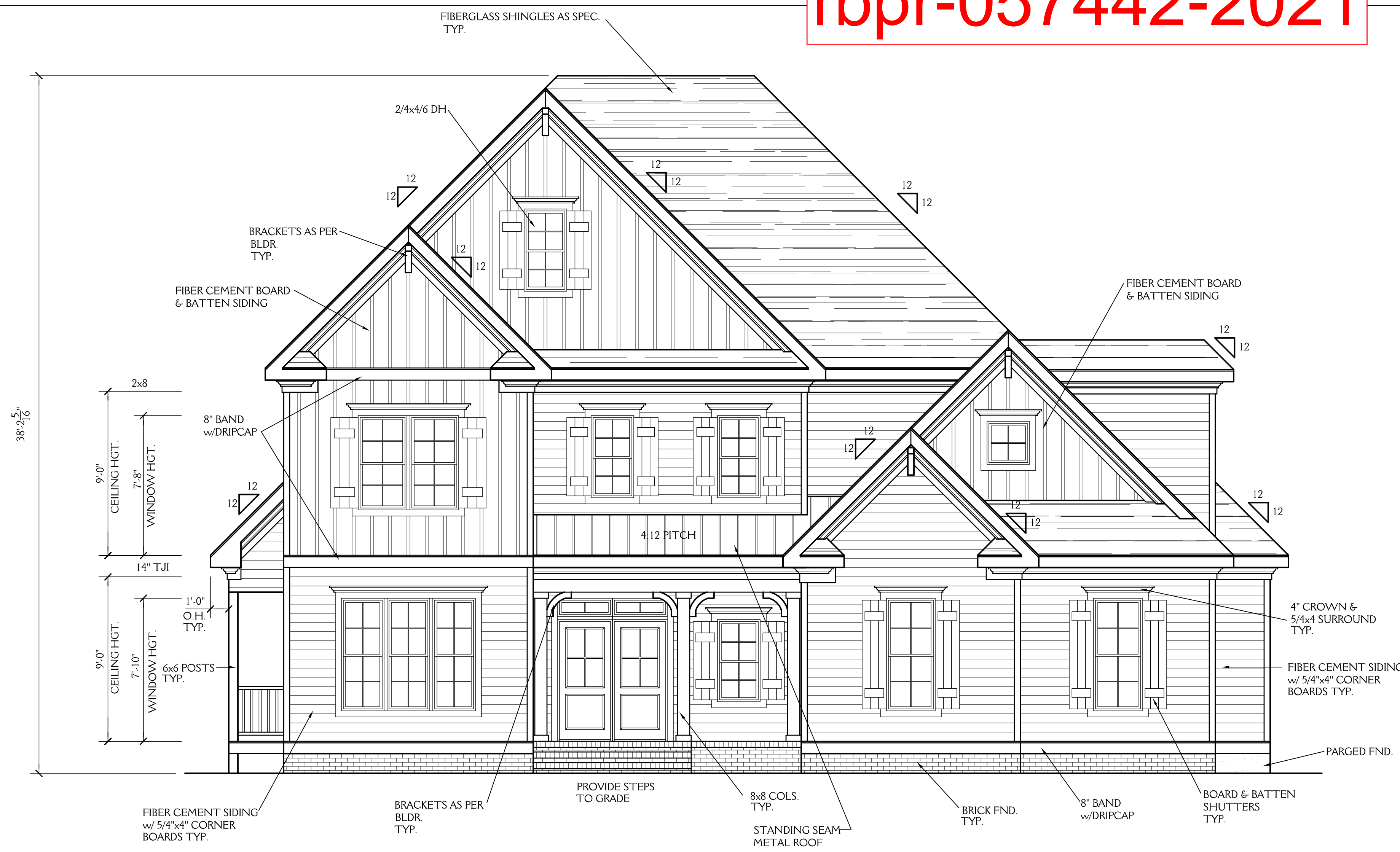


NOTE:

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FRONT ELEVATION
SCALE 1/4"=1'-0"

PLANS DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE
 PLANS DESIGNED FOR MIN. 115 MPH 3 SECOND GUST (89 MPH FASTEST WIND), EXPOSURE B
 ANCHOR BOLTS TO BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM OF 7" INTO
 MASONRY OR CONCRETE. ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN
 12" OF THE CORNER.
 MEAN ROOF HEIGHT = < 30'-0"
 COMPONENT & CLADDING FOR THESE PLANS SHALL BE DESIGNED TO MEET SECTION R301.2.1,
 TABLE R301.2(2) AND R301.2(6) ADJUSTED FOR MEAN ROOF HEIGHT AND EXPOSURE.
 MINIMUM VALUES FOR ENERGY COMPLIANCE:
 ZONE 4 MAX GLAZING U-FACTOR = 0.35 CEILING R-38 WALLS R-15 FLOORS R-19 SLABS R-10

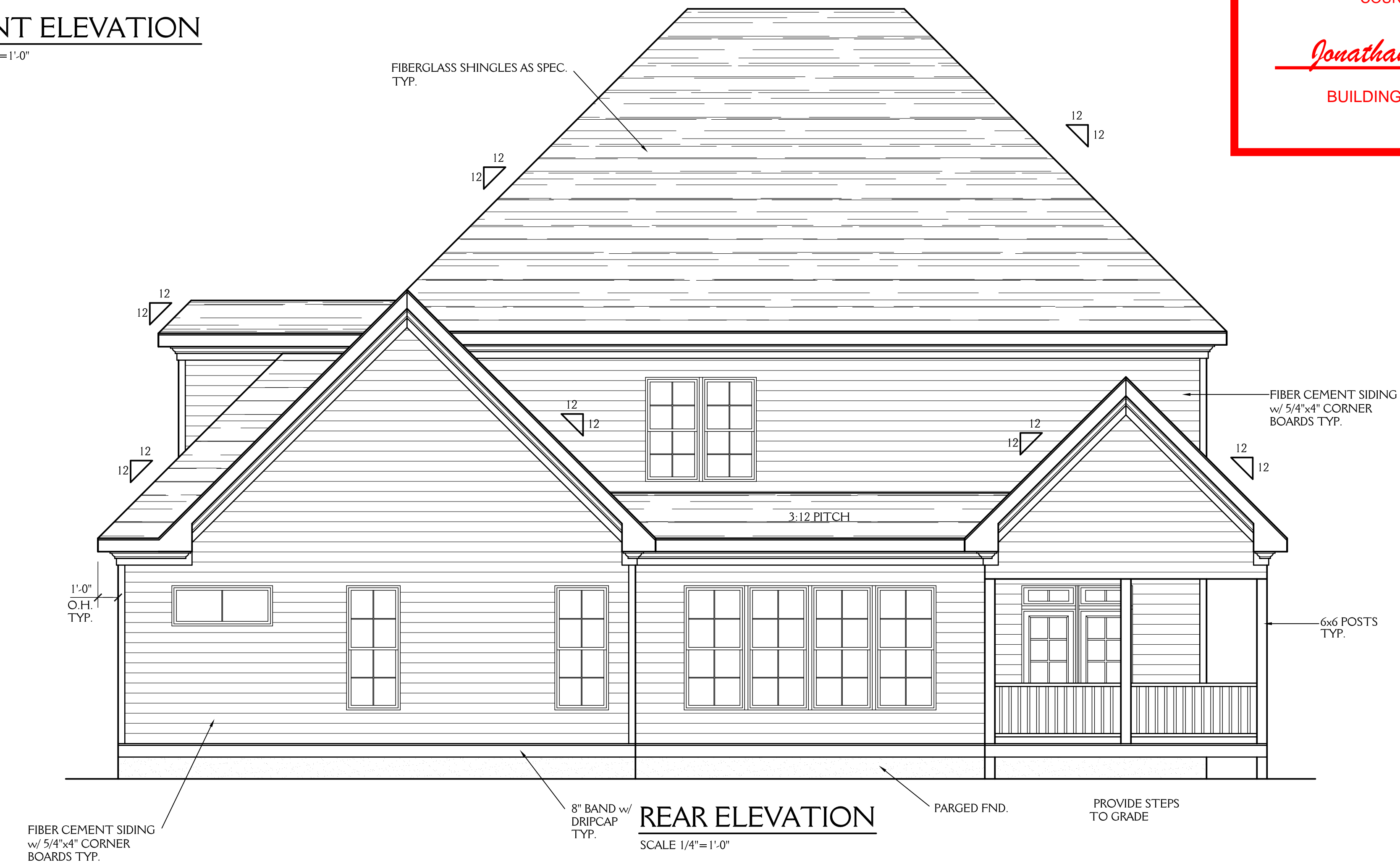


**PLANS APPROVED BY
WAKE COUNTY N.C. P.D.I.**

THIS APPROVAL ENCOMPASSES BUILDING CONSTRUCTION,
OCCUPANCY, USE AND YARD SPACES. IT IS NOT A PERMIT
NOR SHALL IT BE CONSTRUED TO PERMIT ANY VIOLATION OF
COUNTY, STATE OR FEDERAL LAWS.

Jonathan White Building Review

BUILDING INSPECTOR / PLANS EXAMINER
04/21/2021



REAR ELEVATION
SCALE 1/4"=1'-0"



Residential Design, L.L.C.
919-880-1287

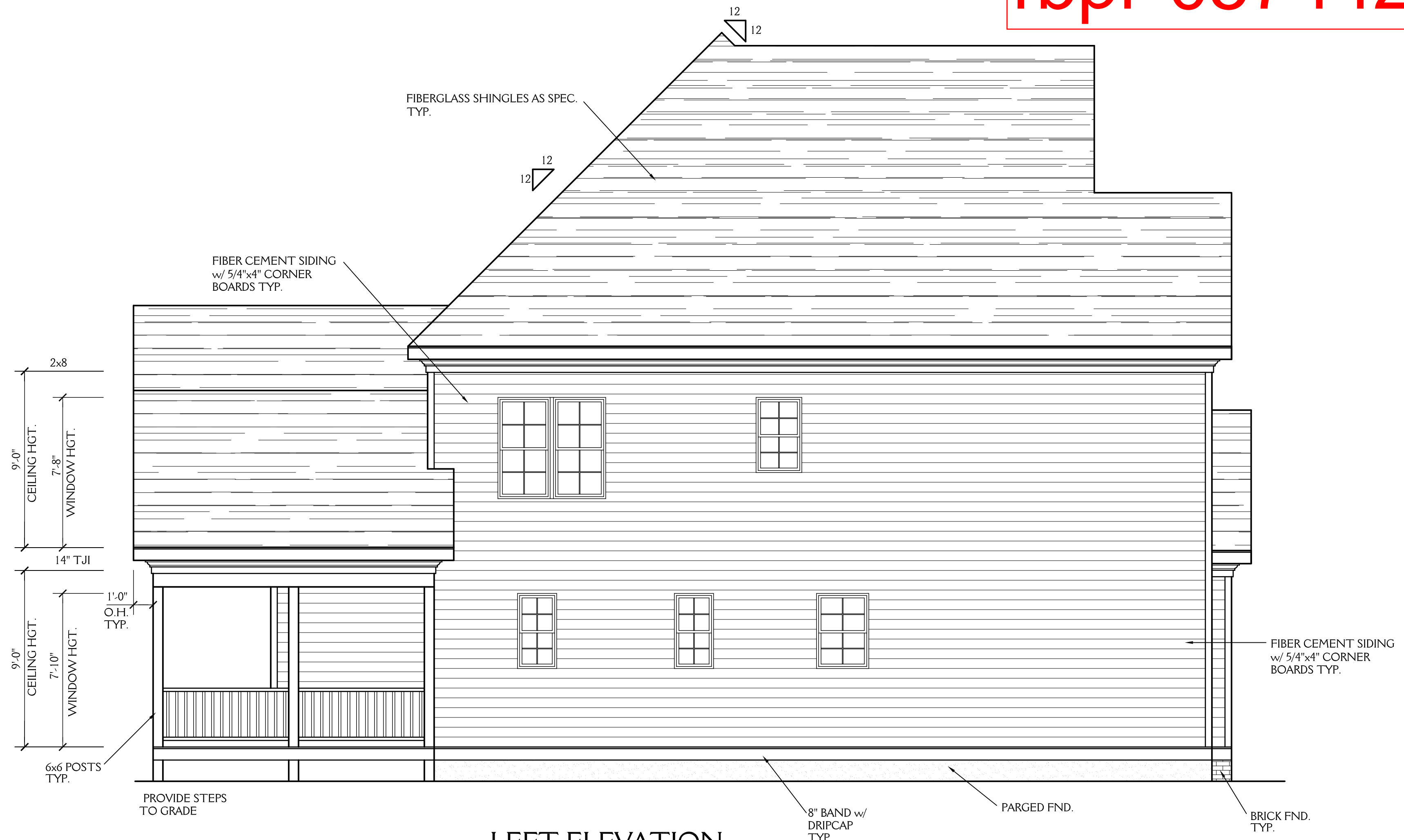
J&W CUSTOM HOMES
3516 PURNELL RD. WAKE FOREST NC

DRAWN BY: JD	DATE: 4-2-21
REVISIONS:	

SHEET
1
OF 5

PROJECT NO.
2105

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED BY OWNER/BUILDER BEFORE CONSTRUCTION BEGINS. ONCE CONSTRUCTION HAS BEGUN, DESIGNER IS RELEASED FROM ANY AND ALL LIABILITY ASSOCIATED WITH THE CONSTRUCTION OF THIS CUSTOM RESIDENCE. THIS PLAN IS DESIGNED UNDER THE 2018 NORTH CAROLINA RESIDENTIAL CODE



LEFT ELEVATION
SCALE 1/4"=1'-0"



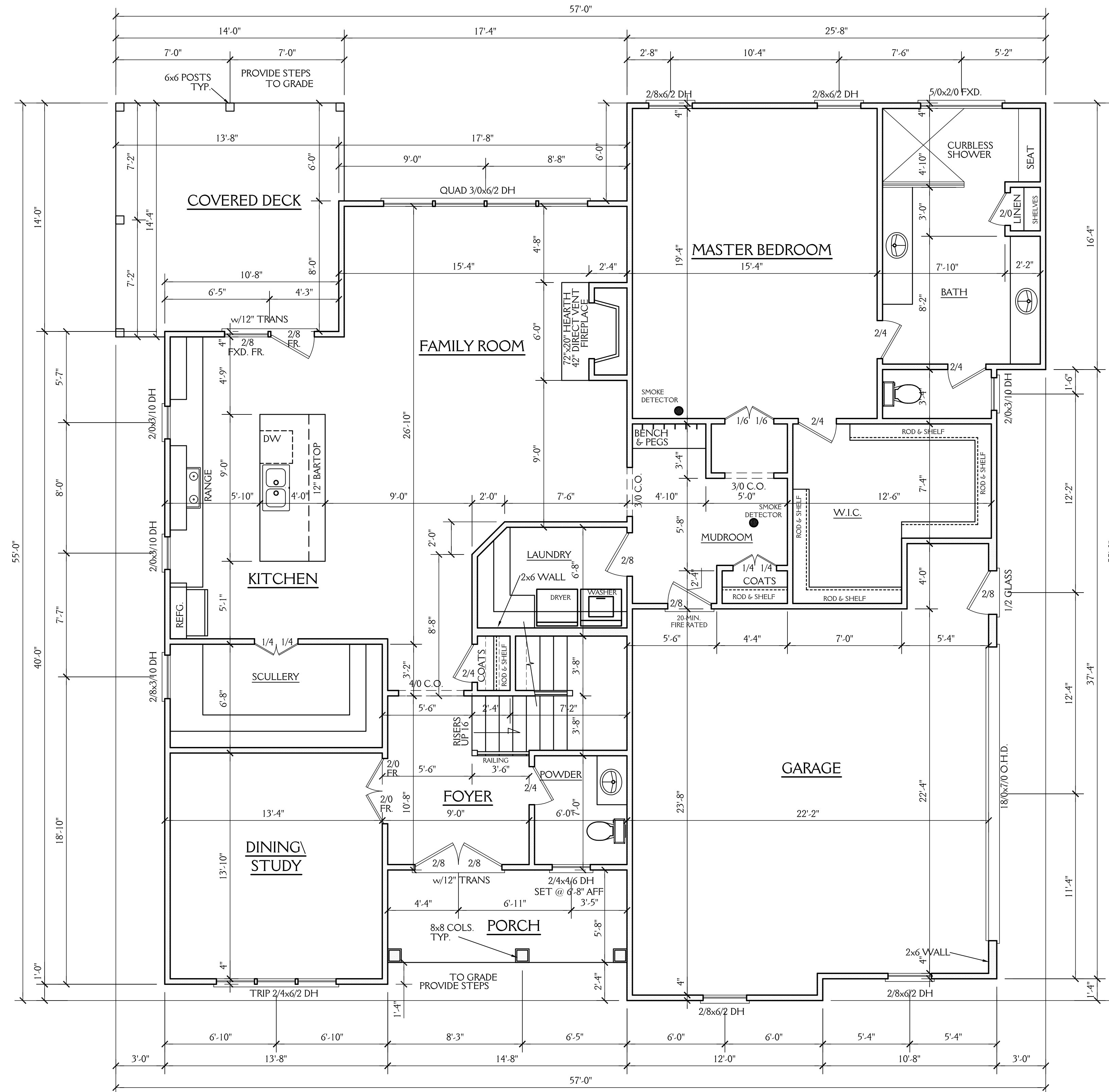
RIGHT ELEVATION
SCALE 1/4"=1'-0"

New Light
Residential Design, L.L.C.
919-880-1287

J&W CUSTOM HOMES 3516 PURNELL RD. WAKE FOREST NC		SHEET 2 OF 5
DRAWN BY: JD	DATE: 4-2-21	PROJECT NO. 2105
REVISIONS:		

NOTE:

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- NOTES:**
CONSTRUCTION TO MEET OR EXCEED ALL REQUIREMENTS OF THE 2018 NC RESIDENTIAL BUILDING CODE
- SEE SECTION R310 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL EMERGENCY ESCAPE & RESCUE OPENING REQUIREMENTS.
SEE SECTION R303 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR LIGHT & VENTILATION REQUIREMENTS.
SEE SECTION R310.1 & R311 OF THE 2018 NC RESIDENTIAL BUILDING CODE EGRESS REQUIREMENTS.
 - BUILDER & WINDOW SALESMAN TO CONFIRM THAT WINDOWS CHOSEN MEET ALL REQUIREMENTS OF SECTION R310 OF THE 2018 NC RESIDENTIAL BUILDING CODE.
 - SEE SECTION R308.4 OF THE 2018 NC RESIDENTIAL BLDG. CODE FOR GLAZING REQUIREMENTS IN HAZARDOUS LOCATIONS
 - PROVIDE FALL PROTECTION AT WINDOWS AS REQUIRED BY 2018 NC RESIDENTIAL BUILDING CODE
 - ALL GLASS TO HAVE A U FACTOR OF 0.32 OR BETTER AND SHGC OF .30 OR BETTER.
 - SEE CHAPTER 11 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL ENERGY CONSERVATION REQUIREMENTS
 - SEE SECTION R302.5 & R302.6 OF THE 2018 NC RESIDENTIAL BLDG. CODE FOR DWELLING/ GARAGE FIRE SEPARATION REQUIREMENTS
 - SEE APPENDIX M OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL DECK CONSTRUCTION REQUIREMENTS
 - PROVIDE CARBON MONOXIDE DETECTORS AS PER SECTION R315 OF THE 2018 NC RESIDENTIAL BUILDING CODE
 - PROVIDE CRAWLSPACE ACCESS AS PER SECTION 408.8 OF THE 2018 NC RESIDENTIAL BUILDING CODE LOCATION T.B.D. IN FIELD BY BUILDER.
 - PROVIDE FOUNDATION DRAINAGE AS PER CODE. SEE SECTIONS 405, 801.3 & 401.3 OF THE 2018 NC RESIDENTIAL BUILDING CODE.
 - SEE SECTION R311.7 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL STAIRWAY REQUIREMENTS. SEE SECTION R312 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL GUARD RAIL & HAND RAIL REQUIREMENTS.
 - SEE SECTION R307 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL BATH FIXTURE CLEARANCES.

ABBREVIATIONS

C.O. : CASED OPENING	CANT. : CANTILEVER
D.W. : DISHWASHER	TYP. : TYPICAL
W.I.C. : WALK IN CLOSET	CLG. : CEILING
SHWR. : SHOWER	HGT. : HEIGHT
DN. : DOWN	COL. : COLUMN
	TRANS. : TRANSOM

1907 SQ FT HTD (1ST FLOOR)	83 SQ FT (PORCH)
1440 SQ FT HTD (2ND FLOOR)	194 SQ FT (DECK)
3347 SQ FT HTD TOTAL	546 SQ FT (GARAGE)
	823 UNHEATED TOTAL

FIRST FLOOR PLAN

SCALE 1/4"=1'-0"
9'-0" CLG. HGT.
SET WINDOWS AT 7'-10" AFF

New Light

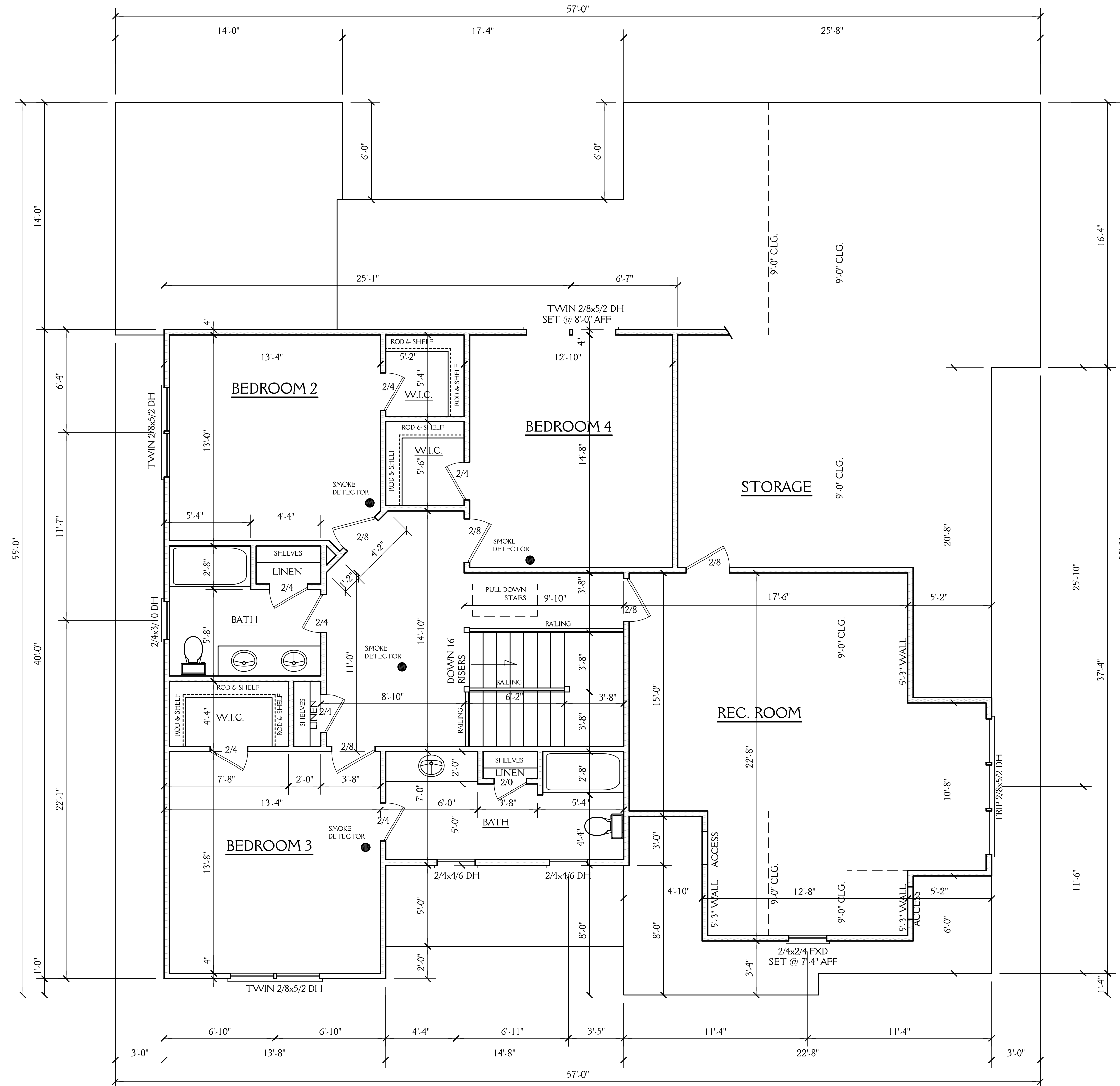
Residential Design, L.L.C.

919-880-1287

J&W CUSTOM HOMES 3516 PURNELL RD. WAKE FOREST NC		3 OF 5
DRAWN BY: JD	DATE: 4-2-21	
REVISIONS:		PROJECT NO. 2105

NOTE:

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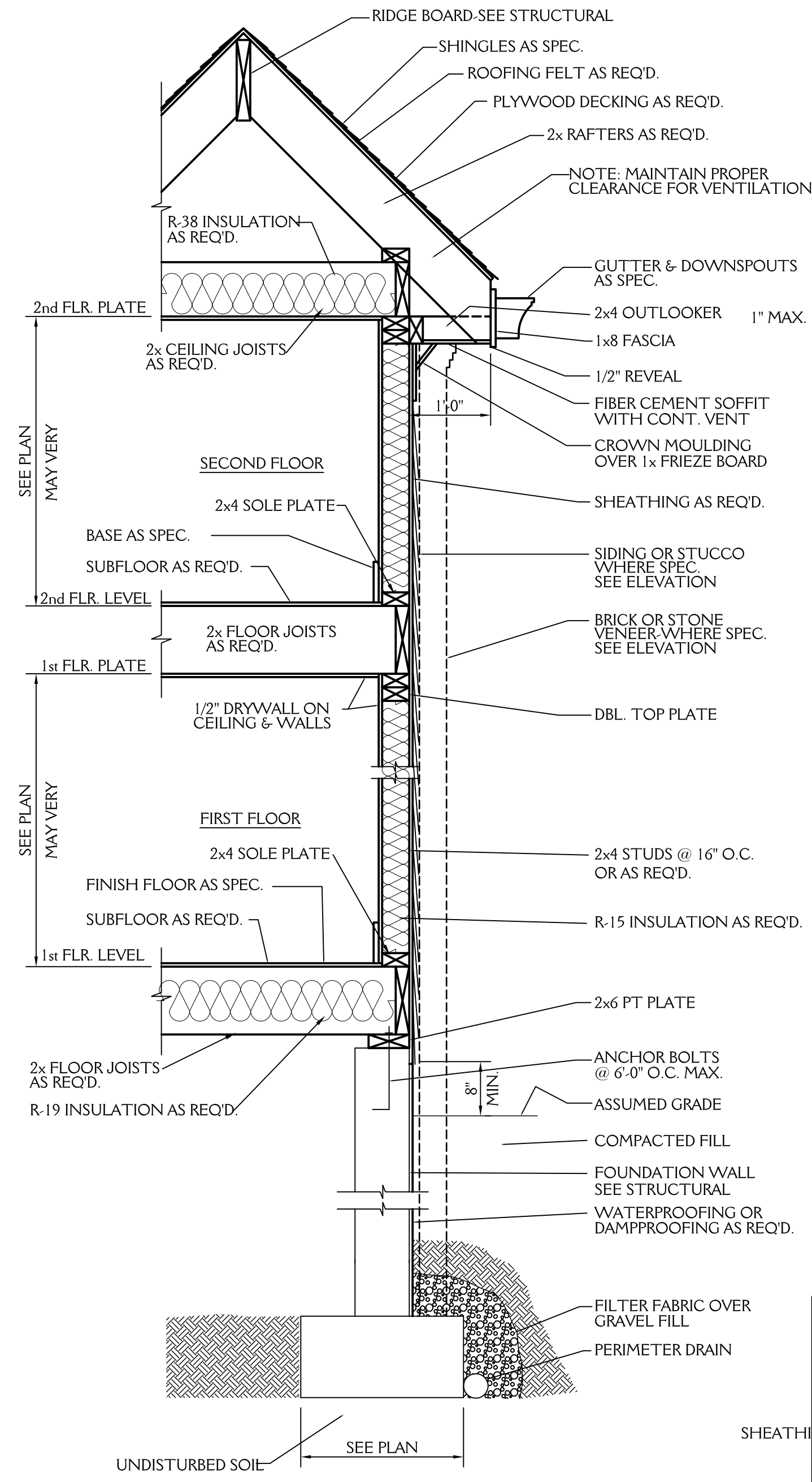


SECOND FLOOR PLAN

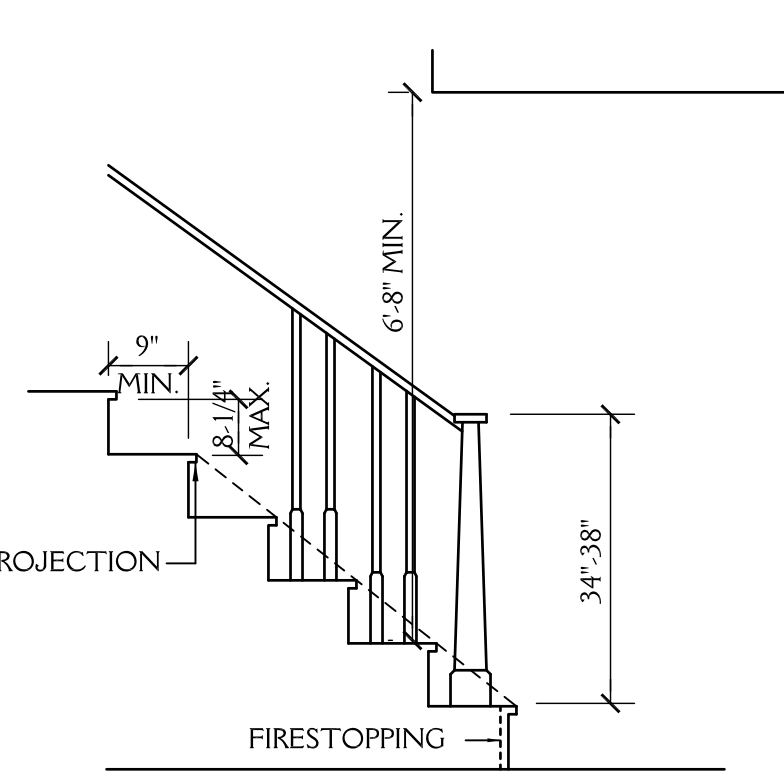
SCALE 1/4"=1'-0"
9'-0" CLG. HGT.
SET WINDOWS AT 7'-8" AFF U.N.O.

New Light
Residential Design, L.L.C.
919-880-1287

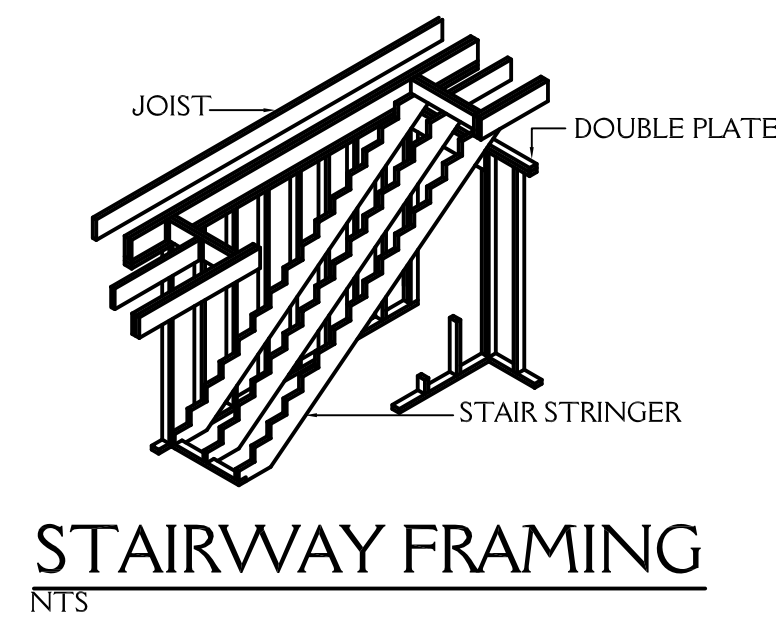
J&W CUSTOM HOMES 3516 PURNELL RD. WAKE FOREST NC		SHEET 4 OF 5
DRAWN BY: JD	DATE: 4-2-21	PROJECT NO. 2105
REVISIONS:		



TYPICAL WALL SECTION
3/4"=1'-0"



STAIR DETAIL
SCALE: NTS



STAIRWAY FRAMING
NTS

NOTE:

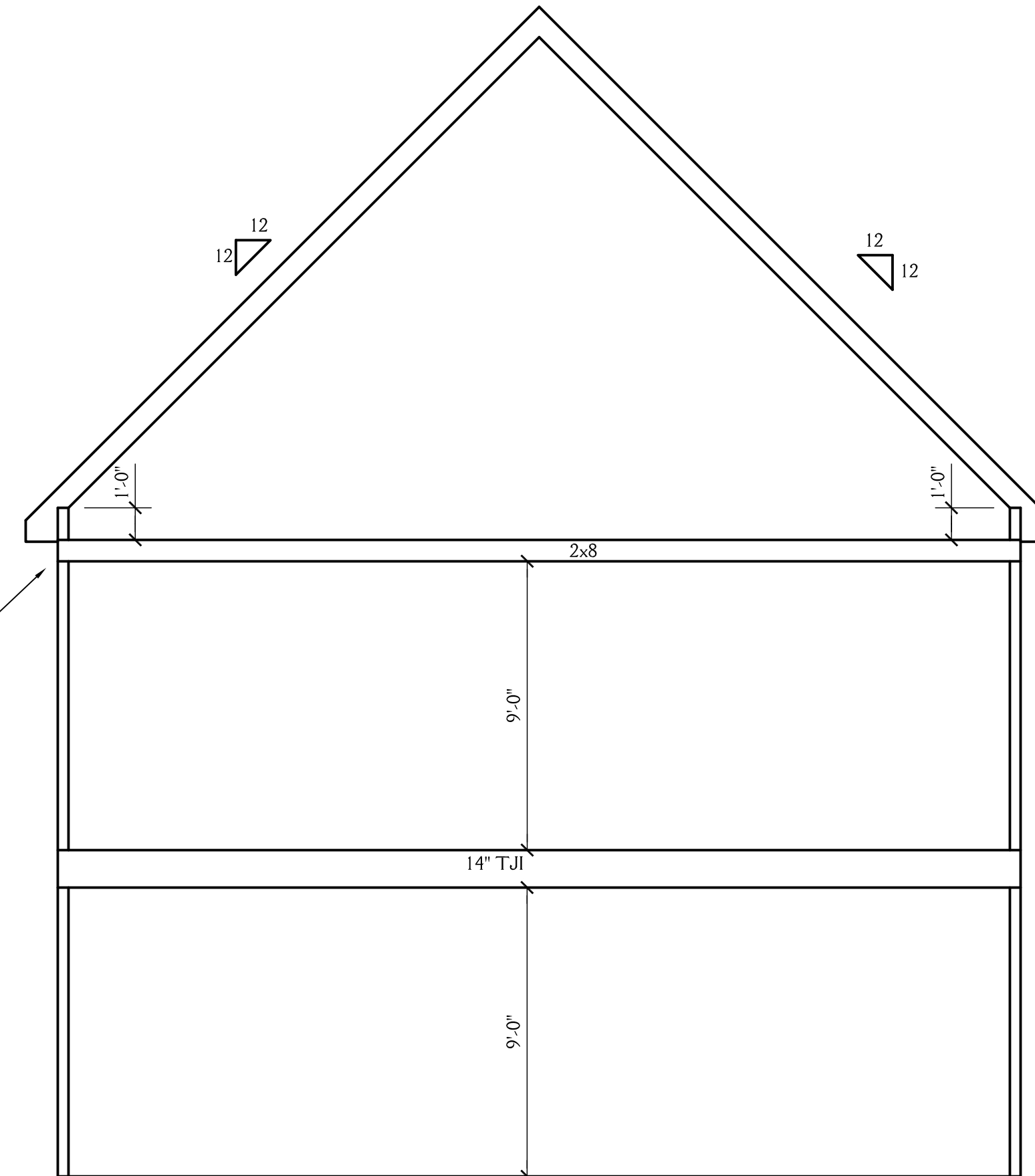
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ROOF VENT CALCS

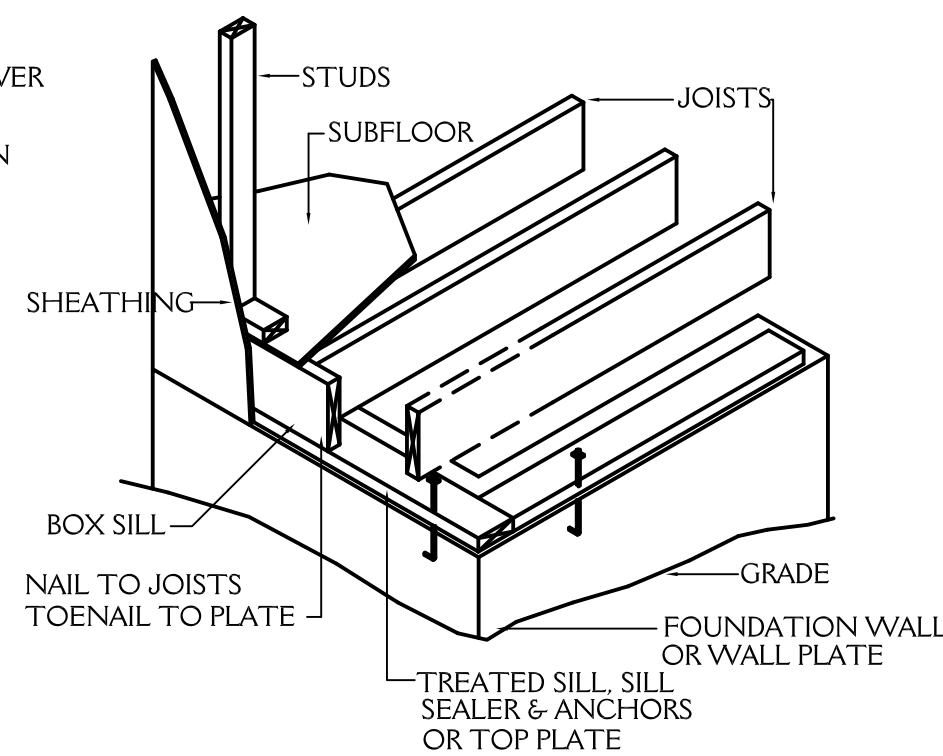
2731 SQ.FT. /150 = 18.21 SQ.FT. REQ'D
BUILDER TO PROVIDE APPROPRIATE VENTILATION AS REQUIRED BY CODE
SEE SECTION R806 OF THE 2018 NC RESIDENTIAL BLDG. CODE

FND VENT CALCS

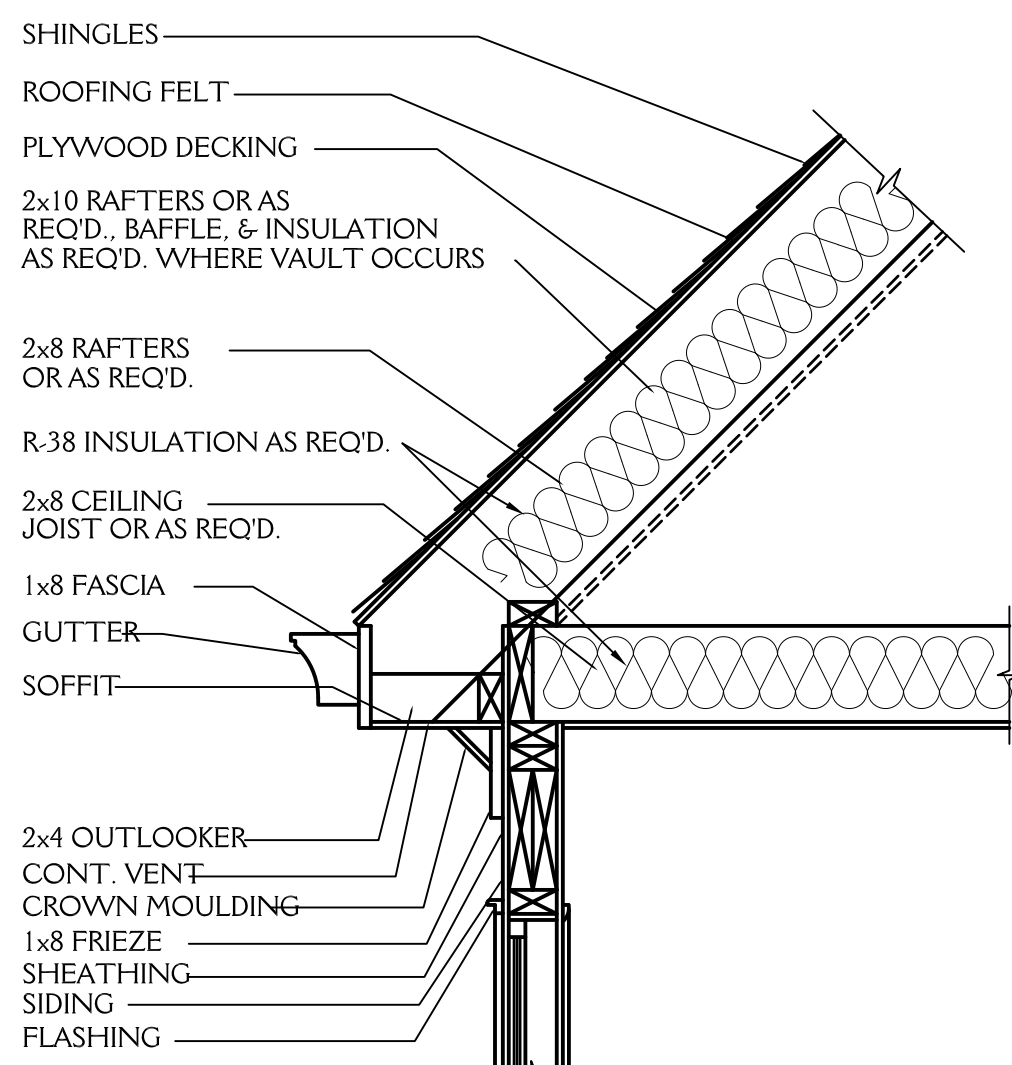
1765 SQ.FT. /150 = 11.77 SQ.FT. REQ'D
BUILDER TO PROVIDE APPROPRIATE VENTILATION AS REQUIRED BY CODE
SEE SECTION R408 OF THE 2018 NC RESIDENTIAL BLDG. CODE



ROOF PLAN
SCALE 1/8"=1'-0"



FLOOR FRAMING
NTS



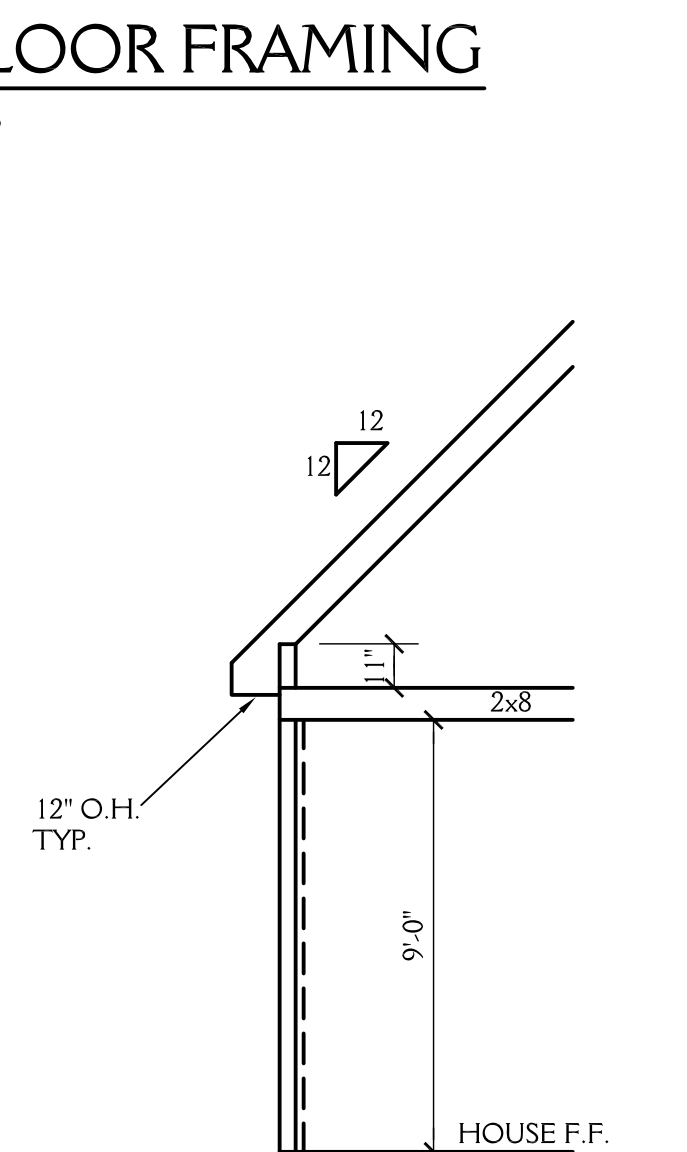
CORNICE DETAIL
3/4"=1'-0"

1 SCHEMATIC SECTION
5 SCALE 1/4"=1'-0"

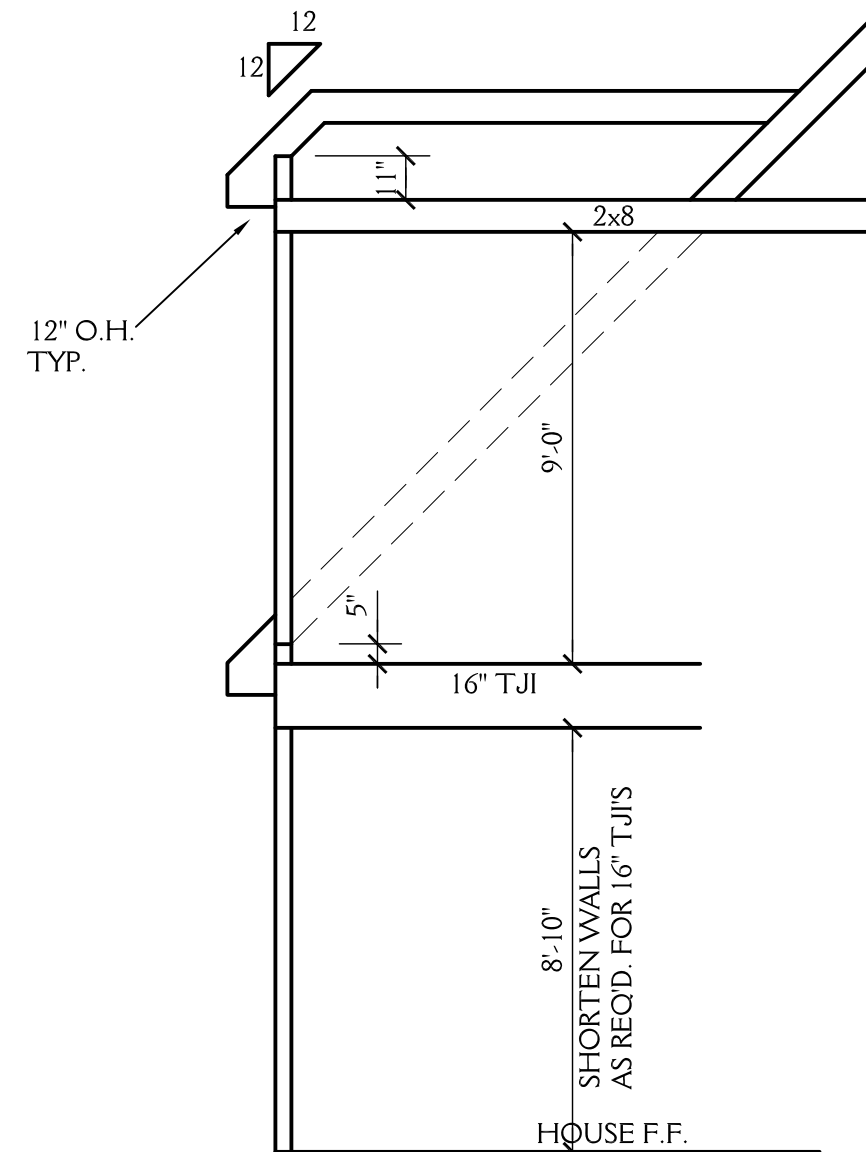
2 SCHEMATIC SECTION
5 SCALE 1/4"=1'-0"

3 SCHEMATIC SECTION
5 SCALE 1/4"=1'-0"

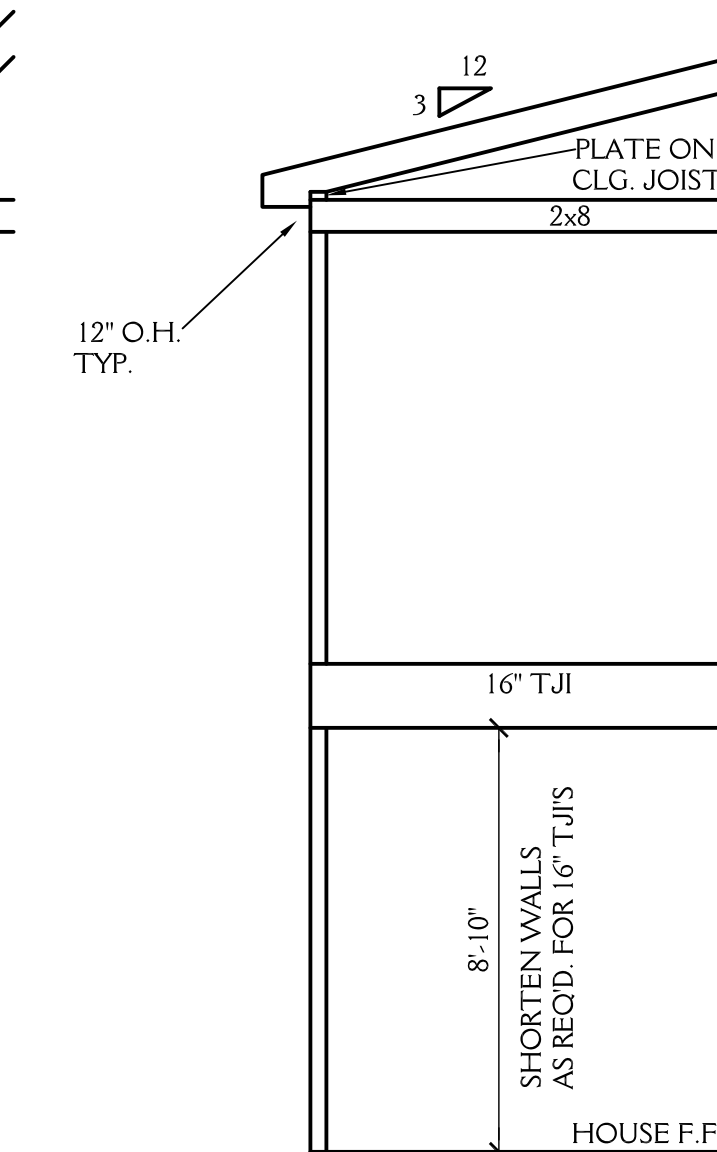
4 SCHEMATIC SECTION
5 SCALE 1/4"=1'-0"



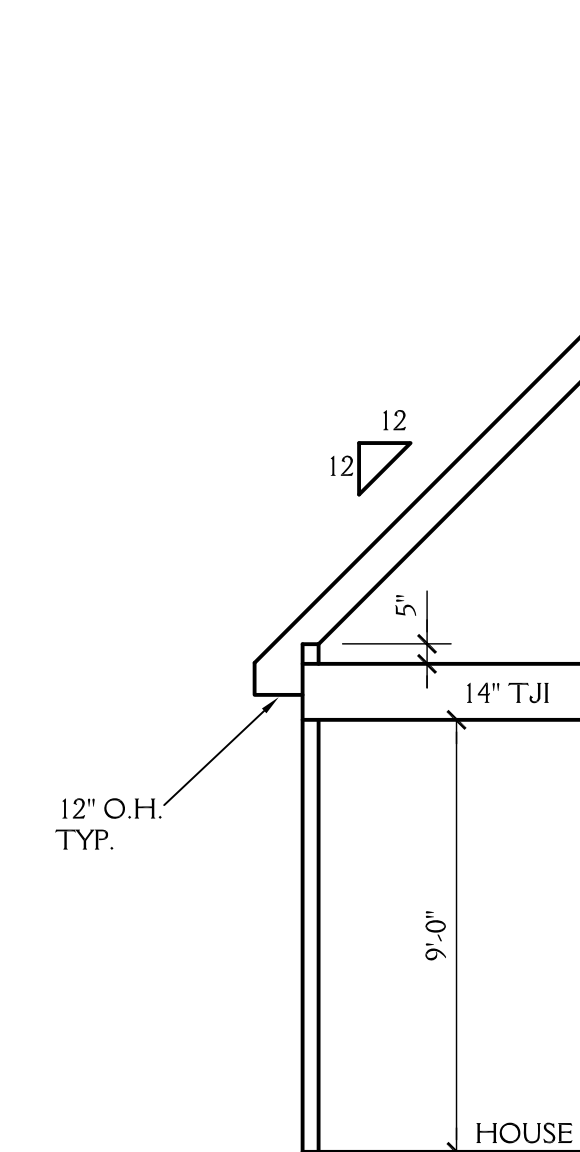
5 SCHEMATIC SECTION
5 SCALE 1/4"=1'-0"



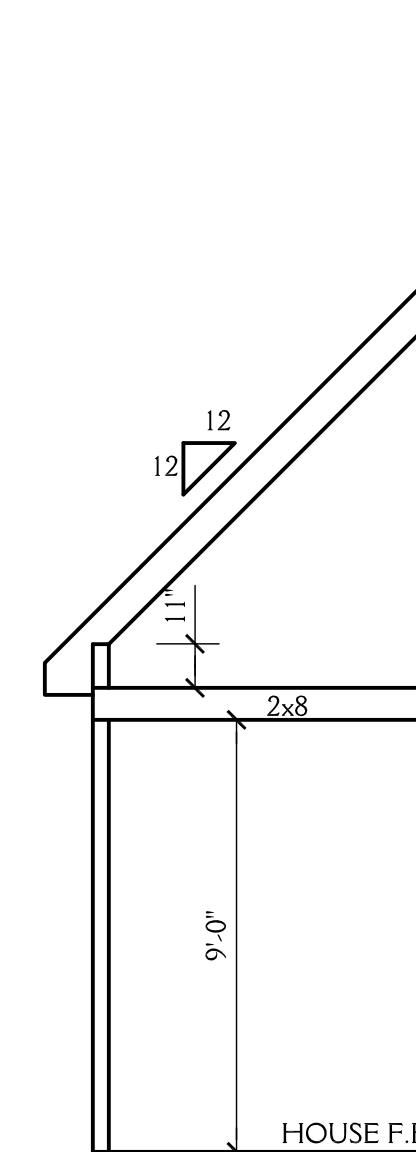
6 SCHEMATIC SECTION
5 SCALE 1/4"=1'-0"



7 SCHEMATIC SECTION
5 SCALE 1/4"=1'-0"

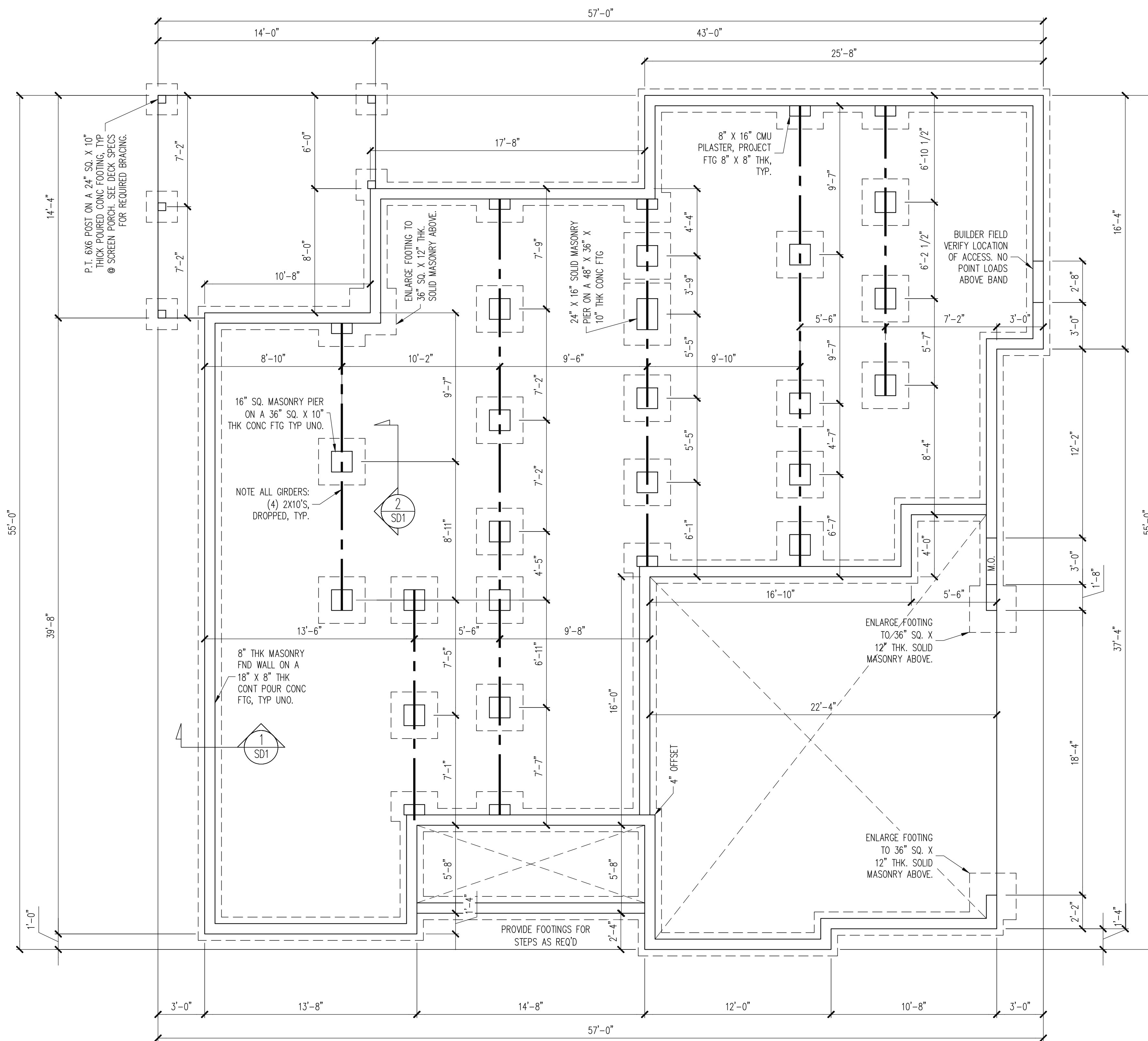


8 SCHEMATIC SECTION
5 SCALE 1/4"=1'-0"



9 SCHEMATIC SECTION
5 SCALE 1/4"=1'-0"

New Light Residential Design, L.L.C.
919-880-1287
J&W CUSTOM HOMES
3516 PURNELL RD. WAKE FOREST NC
DRAWN BY: JD DATE: 4-2-21
REVISIONS:
SHEET 5 OF 5
PROJECT NO. 2105



PLAN DESIGNED UNDER
2018 NORTH CAROLINA
RESIDENTIAL CODE

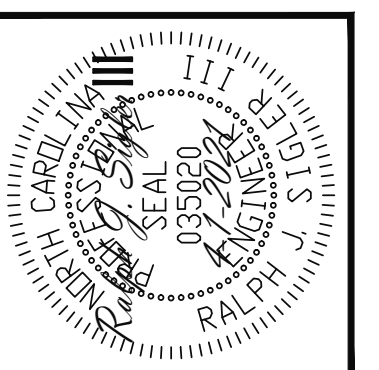
NOTES:
-HEIGHT AND BACKFILL LIMITATIONS FOR
FOUNDATION WALLS ARE TO BE GOVERNED
BY THE NCSBC, LATEST EDITION.
REINFORCEMENT AND GROUTING SHALL BE
DETERMINED BY FINAL SITE CONDITIONS.

-BUILDER TO FIELD LOCATE CRAWLSPACE
ACCESS OPENING WITH MINIMUM DIMENSIONS
OF 18X24. DO NOT LOCATE ACCESS OPENING
BELOW POINT LOADS FROM ABOVE WITHOUT
ENGINEER APPROVAL.

FOUNDATION PLAN
1/4" = 1'-0"

STRUCTURAL ENGINEERS
License No. C-3870
183 Wind Chime Court, Suite 100
Raleigh, North Carolina 27615
(919) 844-1661 Fax: (919) 844-1665

Engineering Tech
ASSOCIATES, P.A.



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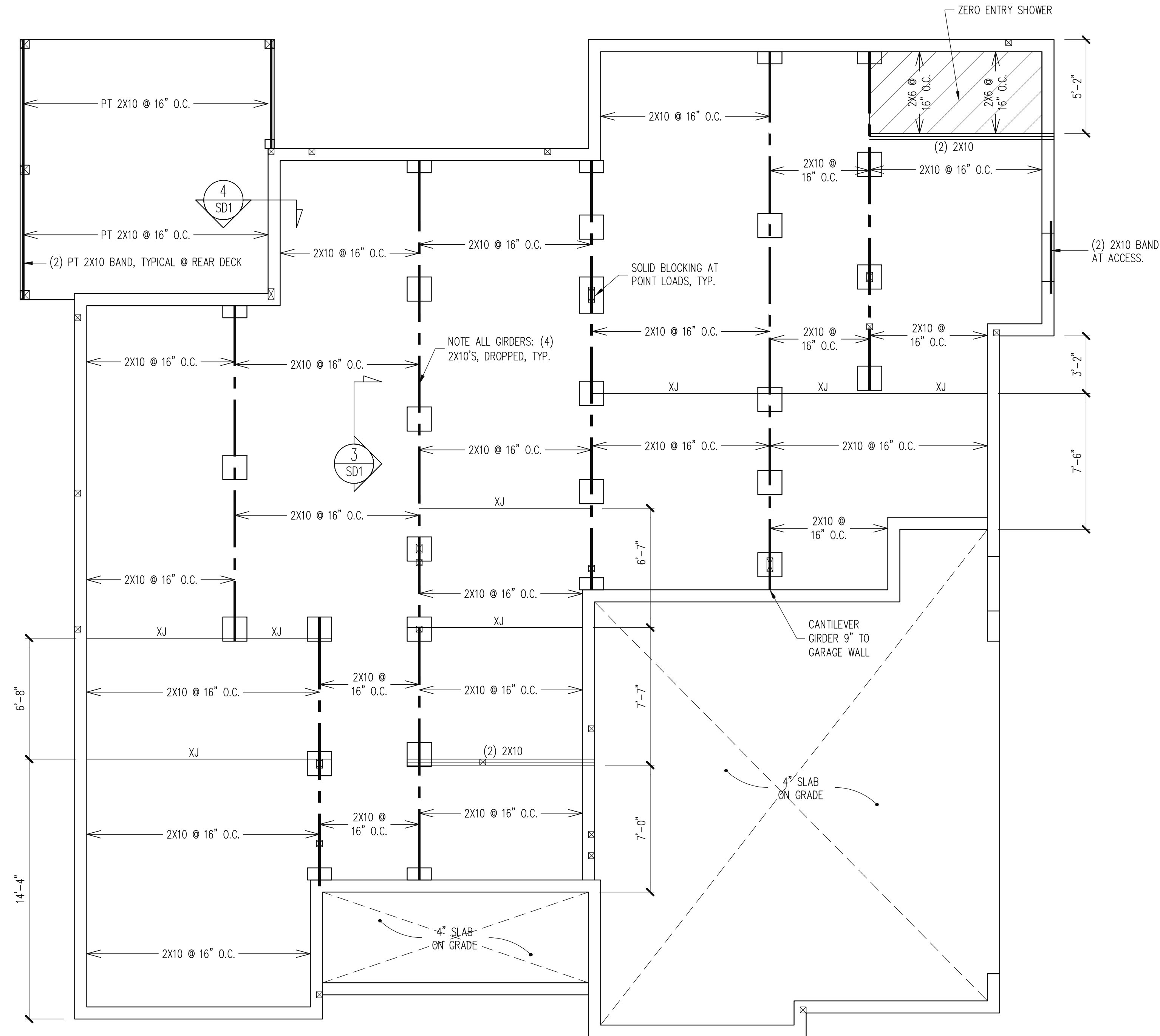
CLIENT:	J&W CUSTOM HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	3516 PURNELL RD
ENG:	RJS/FAF
REV:	
DATE:	4-1-2021

PLAN NO.

PROJECT NO.
21-17-012

SHEET NO.
S1

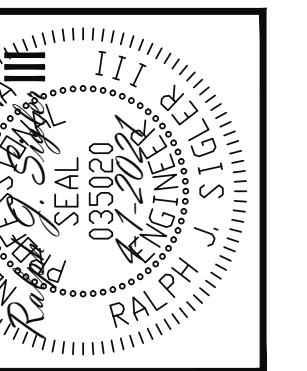
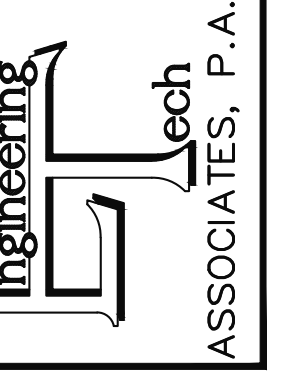
1 of 7



CRAWL SPACE FRAMING PLAN

1/4" = 1'-0"

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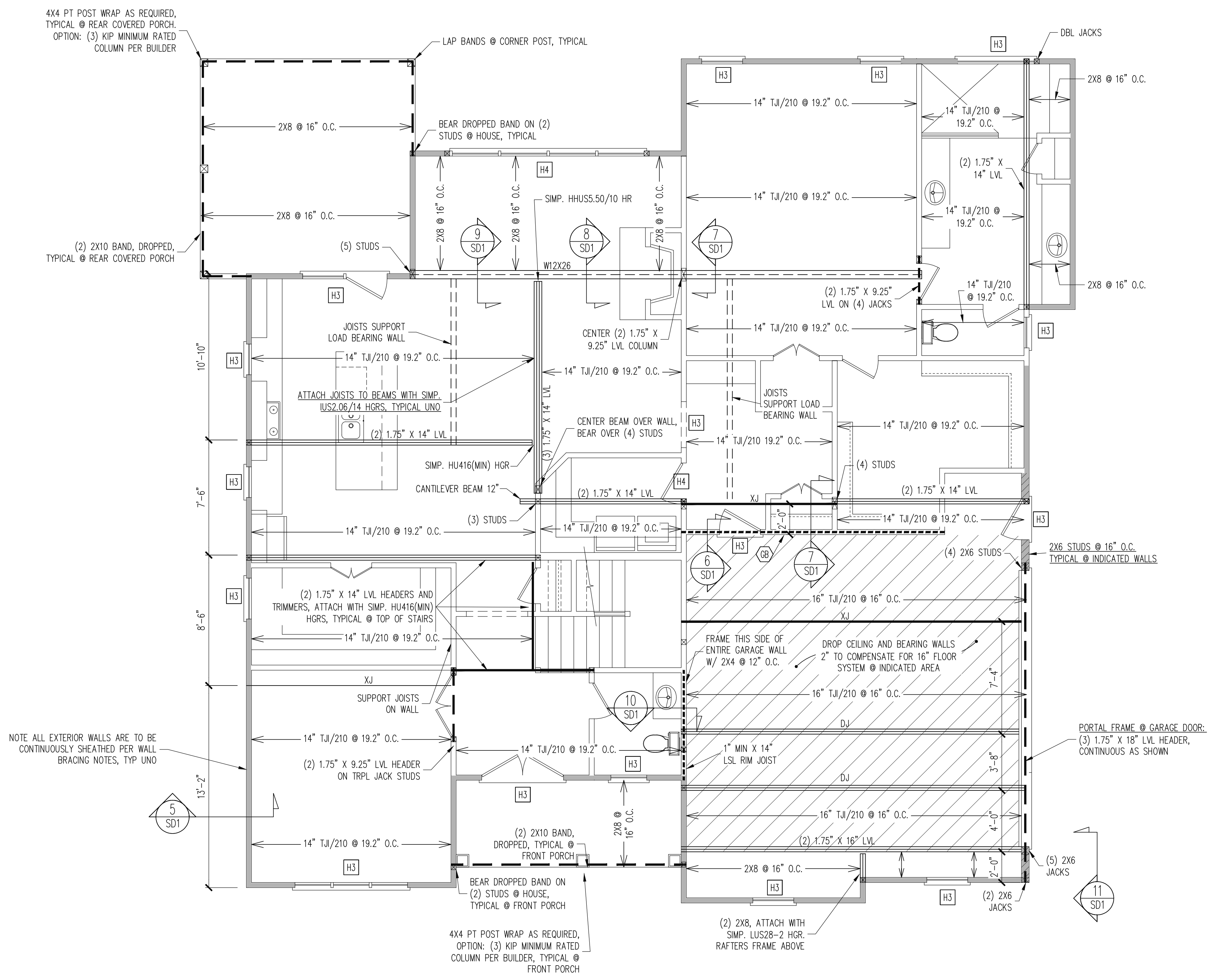
CLIENT:	J&W CUSTOM HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	3516 PURNELL RD
ENG:	RJS/FAF
REV:	
DATE:	4-1-2021

PLAN NO.

PROJECT NO.
21-17-012

SHEET NO.
S2

2 of 7



CONSTRUCTION SPECIFICATIONS
 INSTANT REFERENCES

REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODE

PART 14: STUD SUPPORT FOR BEAMS

PART 17: KING STUDS FOR EXTERIOR WALLS

SEE DETAIL / CONSTRUCTION SPECIFICATIONS SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

WALL BRACING

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

WSP - ONE SIDE OF INTERIOR WALL OR INSIDE OF EXTERIOR WALL WITH 3/8" MIN. THICKNESS WOOD STRUCTURAL PANELING. ATTACH WSP TO STUD WALL WITH 8d NAILS @ 4" O.C. AT PANEL EDGES, 8" O.C. IN PANEL FIELD.

GB - INTERIOR BRACED WALL. 1/2" GB SECURED PER TABLE R602.10.2 OF THE 2018 NCRBC. (FASTENERS @ 7" O.C.) BOTH SIDES OF WALL, OR (FASTENERS @ 4" O.C.) ONE SIDE OF WALL AT STAIRS (BUILDER PERMITTED TO SUBSTITUTE "WSP" FOR ANY "GB" WALL)

NOTES:
 PROVIDED CONTINUOUS SHEATHING = 230' MIN.

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

HEADER SCHEDULE

H1 SINGLE 2X4 TURNED FLAT (A)

H2 (2) 2X4'S ON SINGLE JACKS (B)

H3 (2) 2X10'S ON SINGLE JACKS (C)

H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS

H5 (3) 2X10'S ON SINGLE JACKS

(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.

(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.

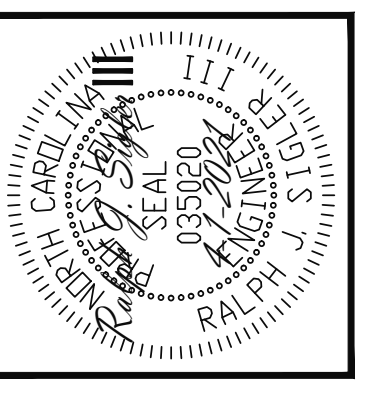
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
 -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

1ST FLOOR FRAMING PLAN
 WALLS AND CEILING
 1/4" = 1'-0"

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Engineering Tech ASSOCIATES, P.A.



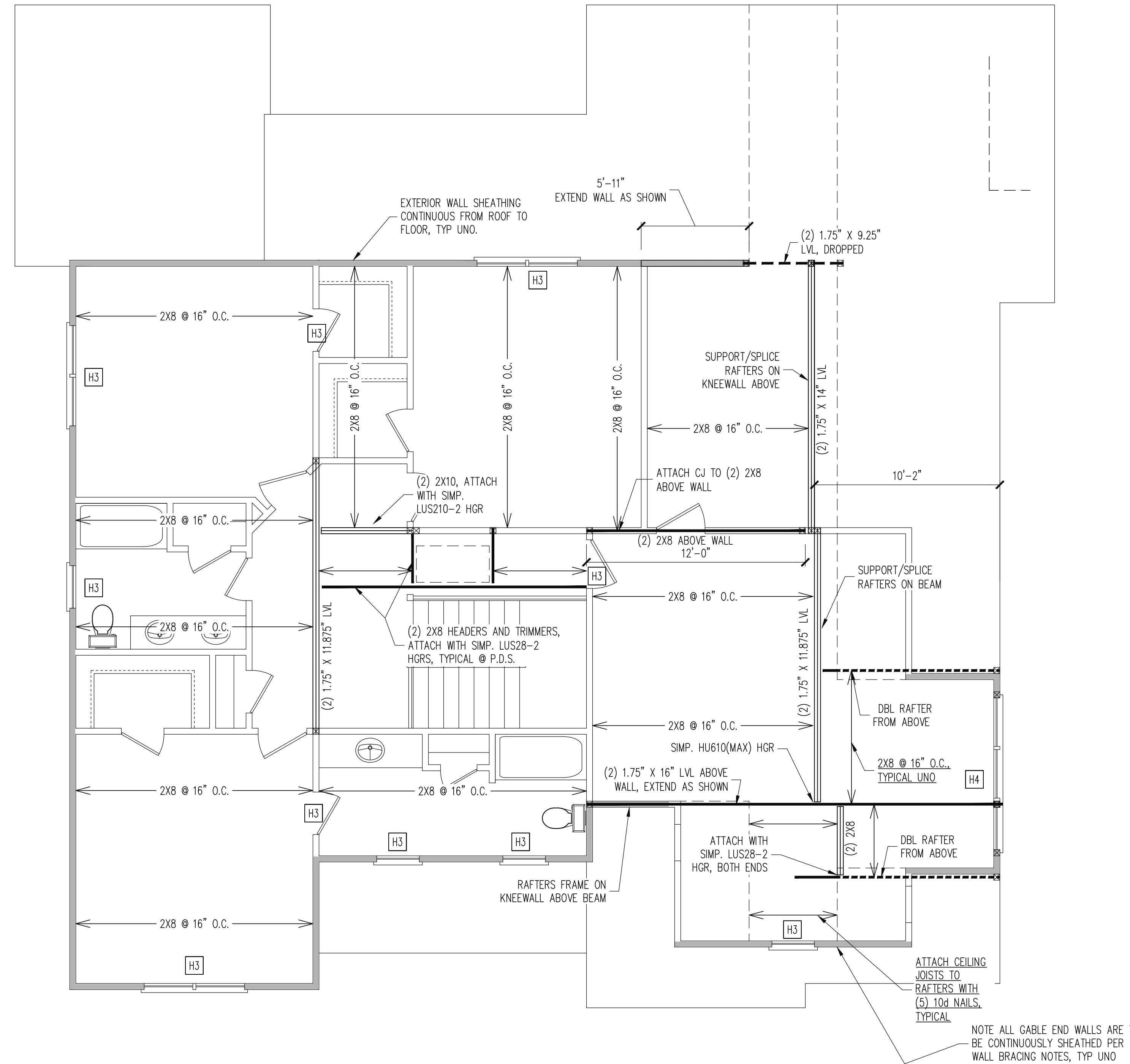
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CLIENT:	J&W CUSTOM HOMES	ENG:	RJ/FAF	REV:	DATE
SCOPE:	STRUCTURAL ADDENDUM				
LOT #:	3516 PURNELL RD				

PLAN NO.

PROJECT NO.
 21-17-012

SHEET NO.
 S3



CONSTRUCTION SPECIFICATIONS
INSTANT REFERENCES
 REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:
 PART 1.01: CURRENT GOVERNING CODE
 PART 14: STUD SUPPORT FOR BEAMS
 PART 17: KING STUDS FOR EXTERIOR WALLS
 SEE DETAIL / CONSTRUCTION SPECIFICATIONS SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

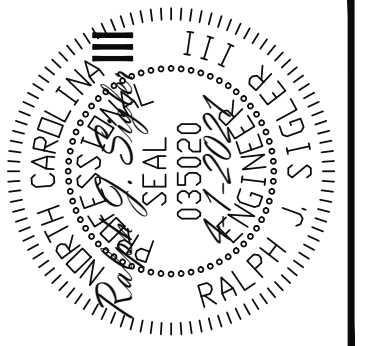
WALL BRACING
 SHADED WALLS:
 ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.
 NOTES:
 PROVIDED CONTINUOUS SHEATHING = 135' MIN.
 REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

HEADER SCHEDULE
 H1 SINGLE 2X4 TURNED FLAT (A)
 H2 (2) 2X4'S ON SINGLE JACKS (B)
 H3 (2) 2X10'S ON SINGLE JACKS (C)
 (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
 (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
 (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.
 NOTES:
 -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

2ND FLOOR FRAMING PLAN
 WALLS AND CEILING
 1/4" = 1'-0"

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 (919) 844-1661 Fax: (919) 844-1665

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 ASSOCIATES, P.A.



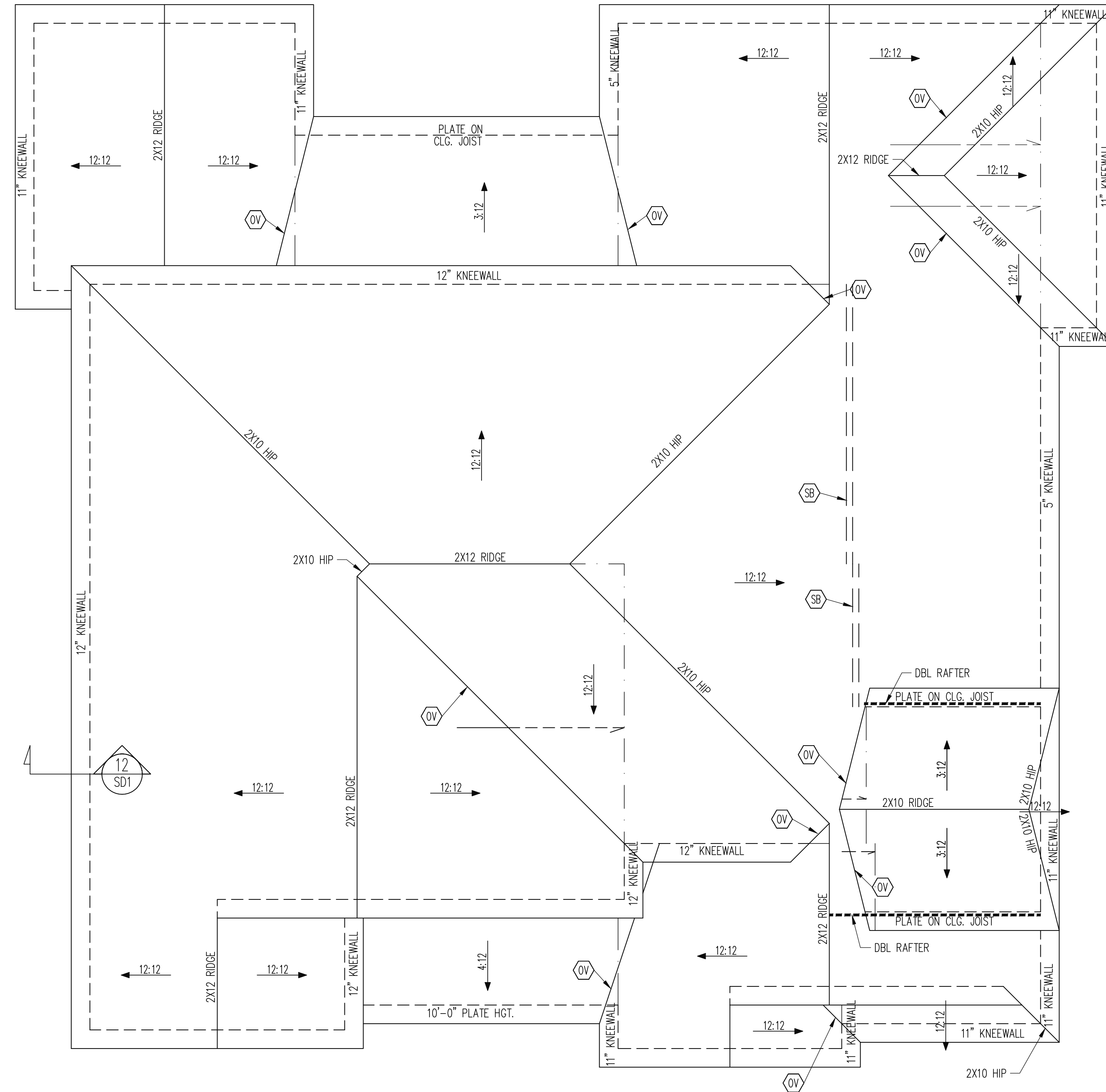
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CLIENT:	J&W CUSTOM HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	3516 PURNELL RD
ENG:	RJS/FAF
REV:	
DATE:	4-1-2021

PLAN NO.

PROJECT NO.
 21-17-012

SHEET NO.
 S4
 4 of 7



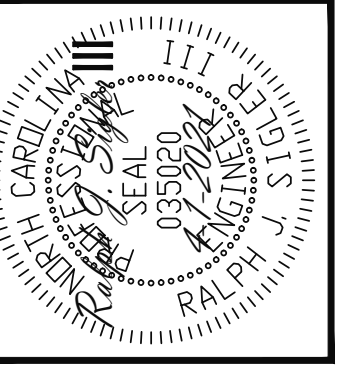
FRAMING NOTES
 ROOF ONLY
 -COMMON RAFTERS 2X8 @ 16" O.C. TYP U.N.O.
 -COLLAR TIES 2X4 EVERY 3RD SET OF RAFTERS TYP U.N.O.
 -VERIFY ROOF PITCHES, OVERHANG LENGTHS, AND KNEEWALL FRAMING HGTS WITH ARCHITECTURAL DRAWINGS, TYPICAL.

FRAMING SCHEDULE
 ROOF ONLY
 OV OVERFRAME VALLEY (2X10 SLEEPER)
 SB SUPPORT/SPUCE RAFTERS ON BEAM BELOW
 SK DBL 2X4 STIFF KNEE
 SS SUPPORT/SPUCE RAFTERS ON KNEEWALL BELOW

ROOF FRAMING PLAN
 1/4" = 1'-0"

STRUCTURAL ENGINEERS
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 183 Wind Chime Court, Suite 100
 Raleigh, North Carolina 27615
 (919) 844-1661 Fax: (919) 844-1665

Engineering Tech
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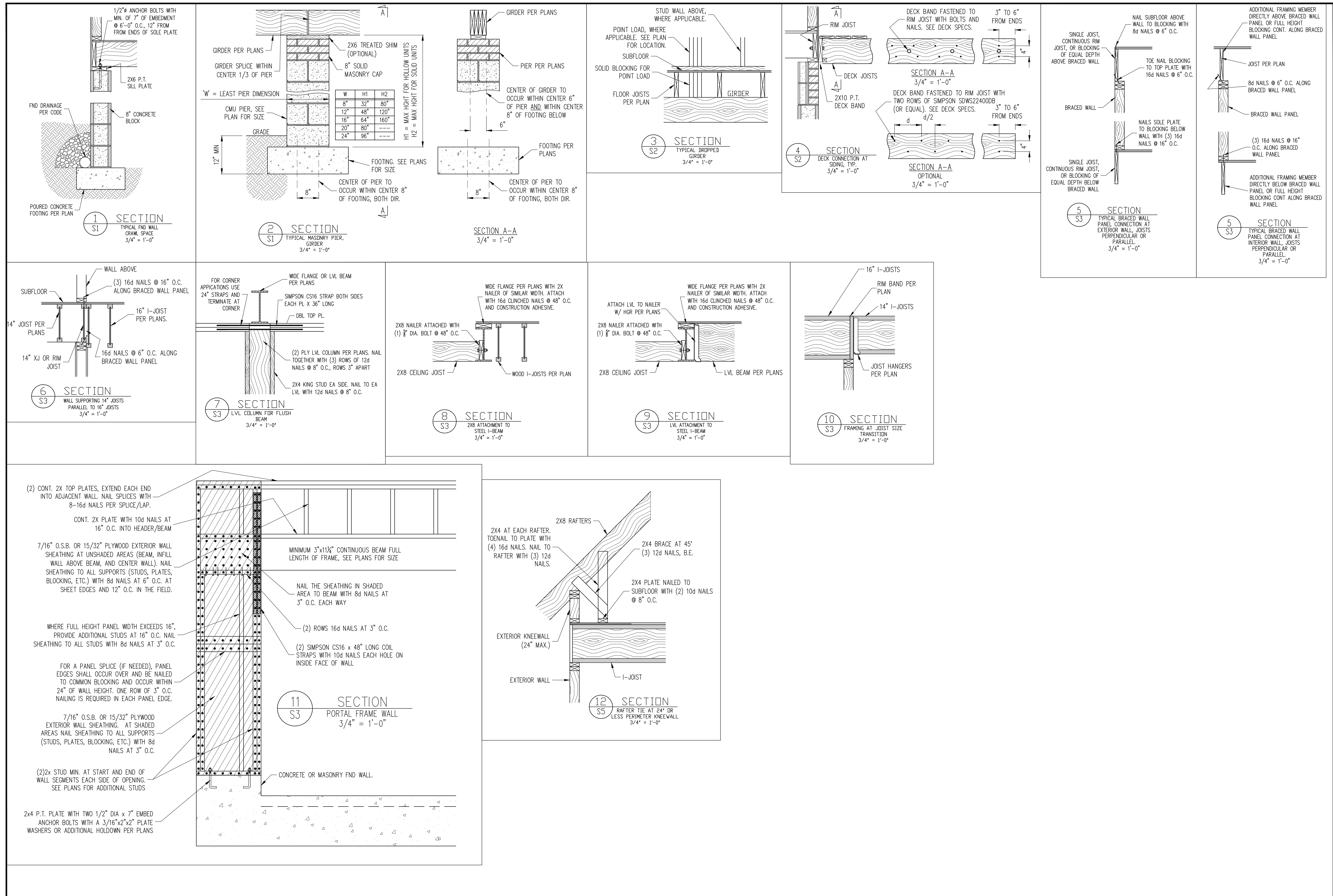
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CLIENT:	J&W CUSTOM HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	3516 PURNELL RD
ENG:	RJ/EF
REV:	
DATE:	4-1-2021

PLAN NO.

PROJECT NO.
 21-17-012

SHEET NO.
 S5



STRUCTURAL ENGINEERS
License No. C-3870
183 Wind Chime Court, Suite 100
Raleigh, North Carolina 27615
(919) 844-1661 Fax: (919) 844-1665

Engineering Tech
ASSOCIATES, P.A.

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CLIENT:	J&W CUSTOM HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	3516 PURNELL RD
ENG:	R5/FAF
REV:	
DATE:	4-1-2021

PLAN NO.
PROJECT NO.
21-17-012
SHEET NO.
SD1
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CONSTRUCTION SPECIFICATIONS

PART 1: GENERAL
1.01 CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
1.02 DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS.
1.05 METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR...

11.02 LVL OR PSL MEMBERS MAY BE RIPPED FROM DEEPER MEMBERS TO MATCH THE MEMBER DEPTH SPECIFIED IN THE PLANS.
PART 12: PRESSURE TREATED LUMBER
12.01 LUMBER IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH ANPA STANDARD C-15...

NOTES

THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. THE BUILDER SHALL IMMEDIATELY CONTACT THE ENGINEER OF RECORD (EOR) BEFORE PROCEEDING IF THE FOLLOWING CONDITIONS ARE NOTED BEFORE OR DURING CONSTRUCTION:
1) THE WORKING PLANS DO NOT BEAR THE SEAL OF THE EOR.
2) THE PLANS CONTAIN DISCREPANT OR INCOMPLETE INFORMATION...

ABBREVIATIONS

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes terms like ABV ABOVE, B.E. BOTH ENDS, BTWN BETWEEN, CIP CAST IN PLACE, CONC CONCRETE, CS CONTINUOUS SHEATHING, DIA DIAMETER, DBL DOUBLE, DJ DOUBLE JOIST, DSP DBL STUD POCKET, EQ EQUAL, EA EACH, FLG FLANGE, FL PL FLUTCH PLATE, FLR FLOOR, FND FOUNDATION, FTG FOOTING, HDG HOT DIPPED GALVANIZED, HGR HANGER, LVL LAMINATED VENEER, LUMBER, NTS NOT TO SCALE, O.C. ON CENTER, PSL PARALLEL STRAND LUMBER, PT PRESSURE TREATED, QJ QUAD JOIST, SP STUD POCKET, SQ SQUARE, TJ TRIPLE JOIST, TYP TYPICAL, TRPL TRIPLE, TSP TRIPLE STUD POCKET, UNO UNLESS NOTED, OTHERWISE, XJ EXTRA JOIST.

ALLOWABLE I-JOIST SUBSTITUTION

Table with 5 columns: MANUFACTURER, DEPTH, SERIES, SIMPSON FACE MOUNT HGR, SIMPSON TOP FLANGE HGR. Lists various joist models from manufacturers like BLUELINK, BOISE CASCADE, LP CORP, NORDIC, ROSEBURG, WEYERHAEUSER.

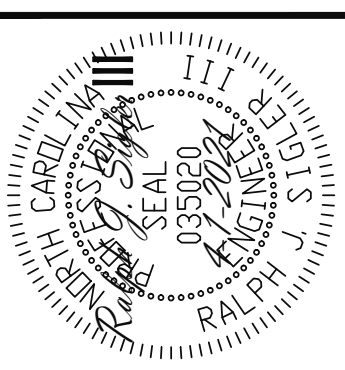
DECK SPECIFICATIONS

1. A DECK IS AN EXPOSED EXTERIOR WOOD FLOOR STRUCTURE WHICH MAY BE ATTACHED TO A STRUCTURE OR BE FREE STANDING, ROOFED PORCHES, OPEN OR SCREENED IN, MAY BE CONSTRUCTED USING THESE PROVISIONS.
2. SUPPORT POSTS SHALL BE SUPPORTED BY A FOOTING.
3. WHEN ATTACHED TO A STRUCTURE, THE STRUCTURE TO WHICH ATTACHED SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION RESISTANT FLASHING SHALL BE USED TO PREVENT MOISTURE FROM COMING IN CONTACT WITH THE UNTREATED FRAMING OF THE STRUCTURE...

Tables for JOIST SPAN and POST SIZE. JOIST SPAN table shows O.C. dimensions (12", 16", 24", 32") and corresponding S4S sizes (1", 1 1/4", 2"). POST SIZE table shows sizes (4x4, 6x6, ENGINEERED) and MAX POST HEIGHT (8', 20', 20'+).

NOTES: 1) THIS TABLE IS BASED ON NO. 2 TREATED SOUTHERN PINE POSTS. 2) THIS TABLE IS BASED ON A MAXIMUM TRIBUTARY AREA OF 128 SQ. FT. 3) POST HEIGHT IS FROM TOP OF FOOTING TO BOTTOM OF ORDER.
10. DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY BY ONE OF THE FOLLOWING METHODS:
A. ALL STRUCTURES EXCEPT BRICK STRUCTURES
B. 4X4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS...

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CLIENT: J&W CUSTOM HOMES
SCOPE: STRUCTURAL ADDENDUM
LOT #: 3516 PURNELL RD
ENG: R5/FAF
REV:
DATE: 4-1-2021

PLAN NO.

PROJECT NO.
21-17-012

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SPECS
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