



ALL DIMENSIONS ARE TO BE VERIFIED BY OWNER/BUILDER
BEFORE CONSTRUCTION BEGINS. ONCE CONSTRUCTION HAS BEGUN,
DESIGNER IS RELEASED FROM ANY AND ALL LIABILITY ASSOCIATED
WITH THE CONSTRUCTION OF THIS CUSTOM RESIDENCE.
THIS PLAN IS DESIGNED UNDER THE 2018 NORTH CAROLINA
RESIDENTIAL CODE



1. SEE SECTION R310 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL EMERGENCY ESCAPE & RESCUE OPENING REQUIREMENTS.

SEE SECTION R303 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR LIGHT & VENTILATION REQUIREMENTS.

SEE SECTION R310.1 & R311 OF THE 2018 NC RESIDENTIAL BUILDING CODE EGRESS REQUIREMENTS.

2. BUILDER & WINDOW SALESMAN TO CONFIRM THAT WINDOWS CHOSEN MEET ALL REQUIREMENTS OF SECTION R310 OF THE 2018 NC RESIDENTIAL BUILDING CODE.

3. SEE SECTION R308.4 OF THE 2018 NC RESIDENTIAL BLDG. CODE FOR GLAZING REQUIREMENTS IN HAZARDOUS LOCATIONS

4. PROVIDE FALL PROTECTION AT WINDOWS AS REQUIRED BY 2018 NC RESIDENTIAL BUILDING CODE

5. ALL GLASS TO HAVE A U FACTOR OF 0.32 OR BETTER AND SHGC OF .30 OR BETTER.

6. SEE CHAPTER 11 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL ENERGY CONSERVATION REQUIREMENTS

7. SEE SECTION R302.5 & R302.6 OF THE 2018 NC RESIDENTIAL BLDG. CODE FOR DWELLING/GARAGE FIRE SEPARATION REQUIREMENTS

8. SEE APPENDIX M OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL DECK CONSTRUCTION REQUIREMENTS

9. PROVIDE CARBON MONOXIDE DETECTORS
AS PER SECTION R315 OF THE 2018 NC RESIDENTIAL
BUILDING CODE

10. PROVIDE CRAWLSPACE ACCESS AS PER SECTION 408.8 OF THE 2018 NC RESIDENTIAL BUILDING CODE LOCATION T.B.D. IN FIELD BY BUILDER.

11. PROVIDE FOUNDATION DRAINAGE AS PER CODE.
SEE SECTIONS 405, 801.3 & 401.3 OF THE
2018 NC RESIDENTIAL BUILDING CODE.

12. SEE SECTION R311.7 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL STAIRWAY REQUIREMENTS.

SEE SECTION R312 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL GUARD RAIL & HAND RAIL REQUIREMENTS.

13. SEE SECTION R307 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR ALL BATH FIXTURE CLEARANCES.

ABBREVIATIONS

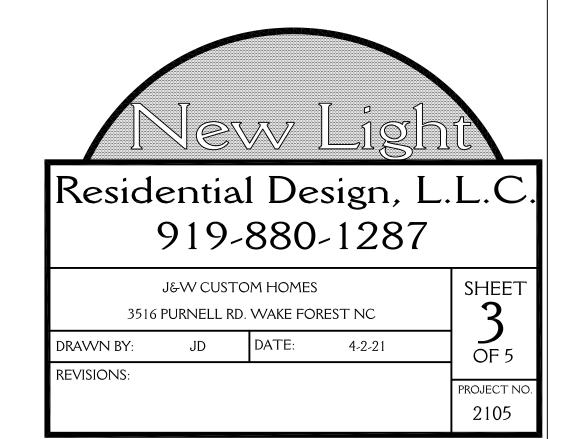
CANT.: CANTILEVER
C.O.: CASED OPENING
D.W.: DISHWASHER
W.I.C.: WALK IN CLOSET
SHWR.: SHOWER
DN.: DOWN

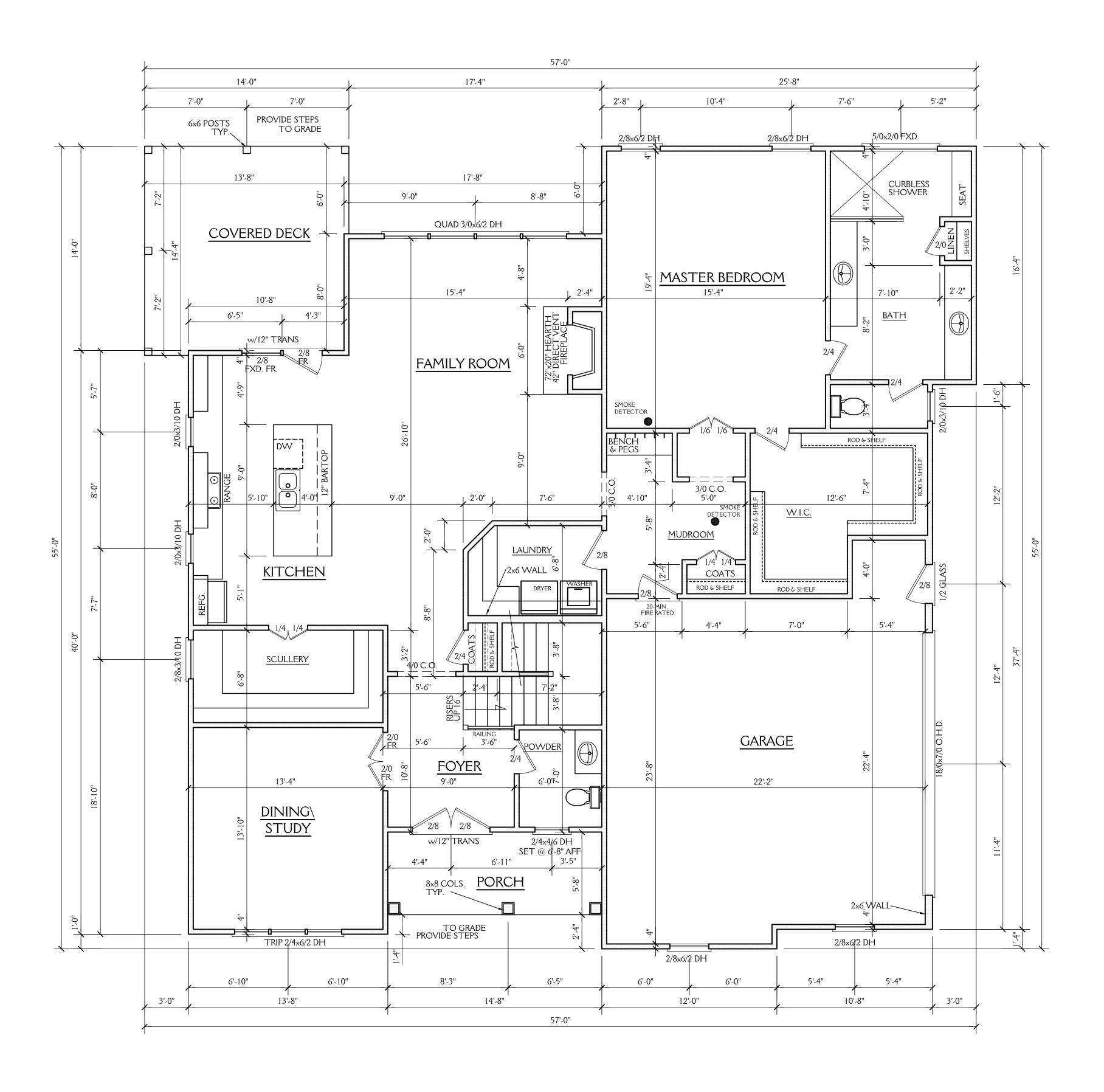
CANT.: CANTILEVER
TYP.: TYPICAL
CLG.: CEILING
HGT.: HEIGHT
COL.: COLUMN
TRANS.: TRANSOM

1907 SQ FT HTD (1ST FLOOR) 1440 SQ FT HTD (2ND FLOOR) 3347 SQ FT HTD TOTAL 83 SQ FT (PORCH) 194 SQ FT (DECK) 546 SQ FT (GARAGE) 823 UNHEATED TOTAL

FIRST FLOOR PLAN

SCALE 1/4"=1'/0" 9'/0" CLG. HGT. SET WINDOWS AT 7'/10" AFF

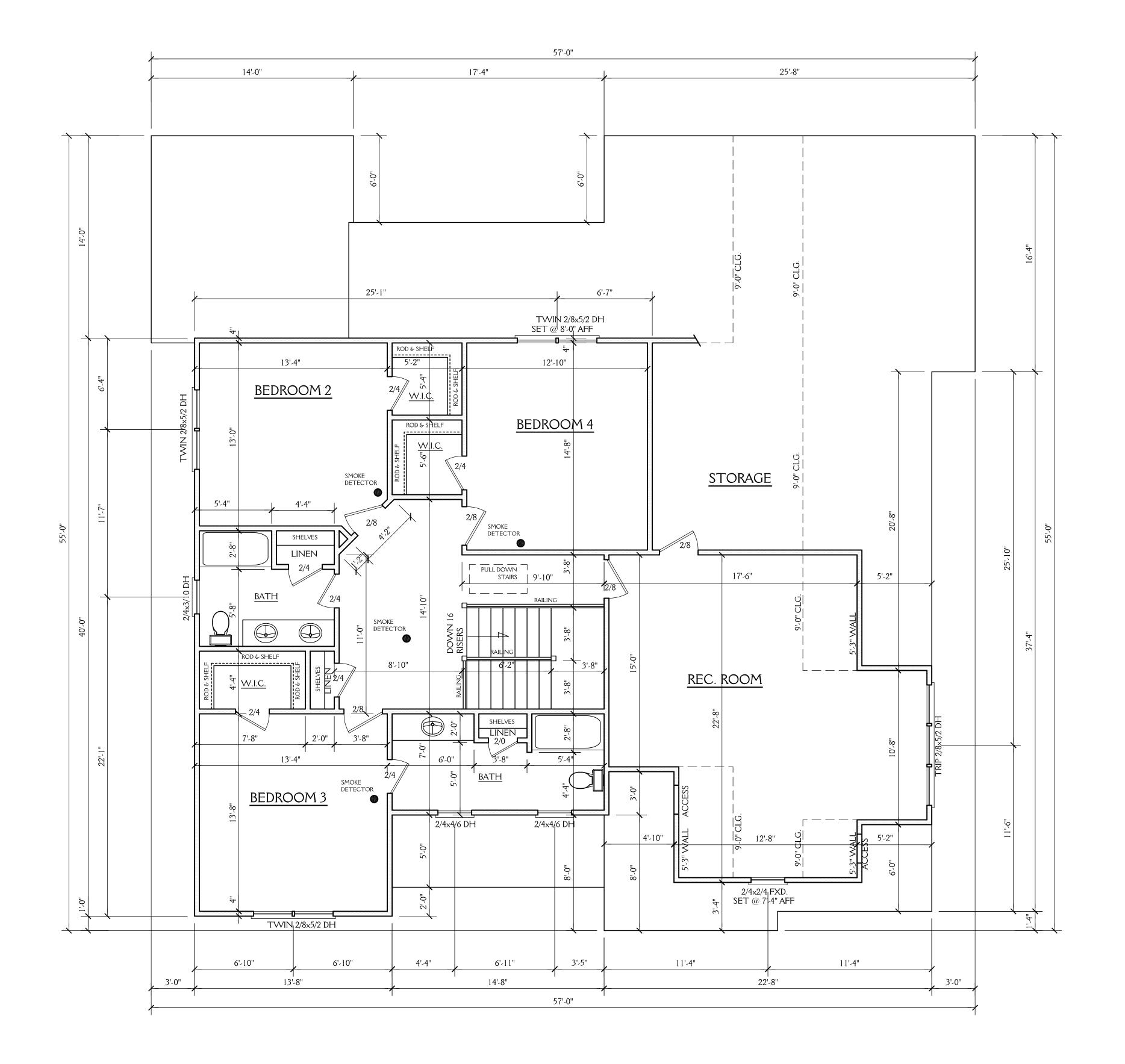




JWW

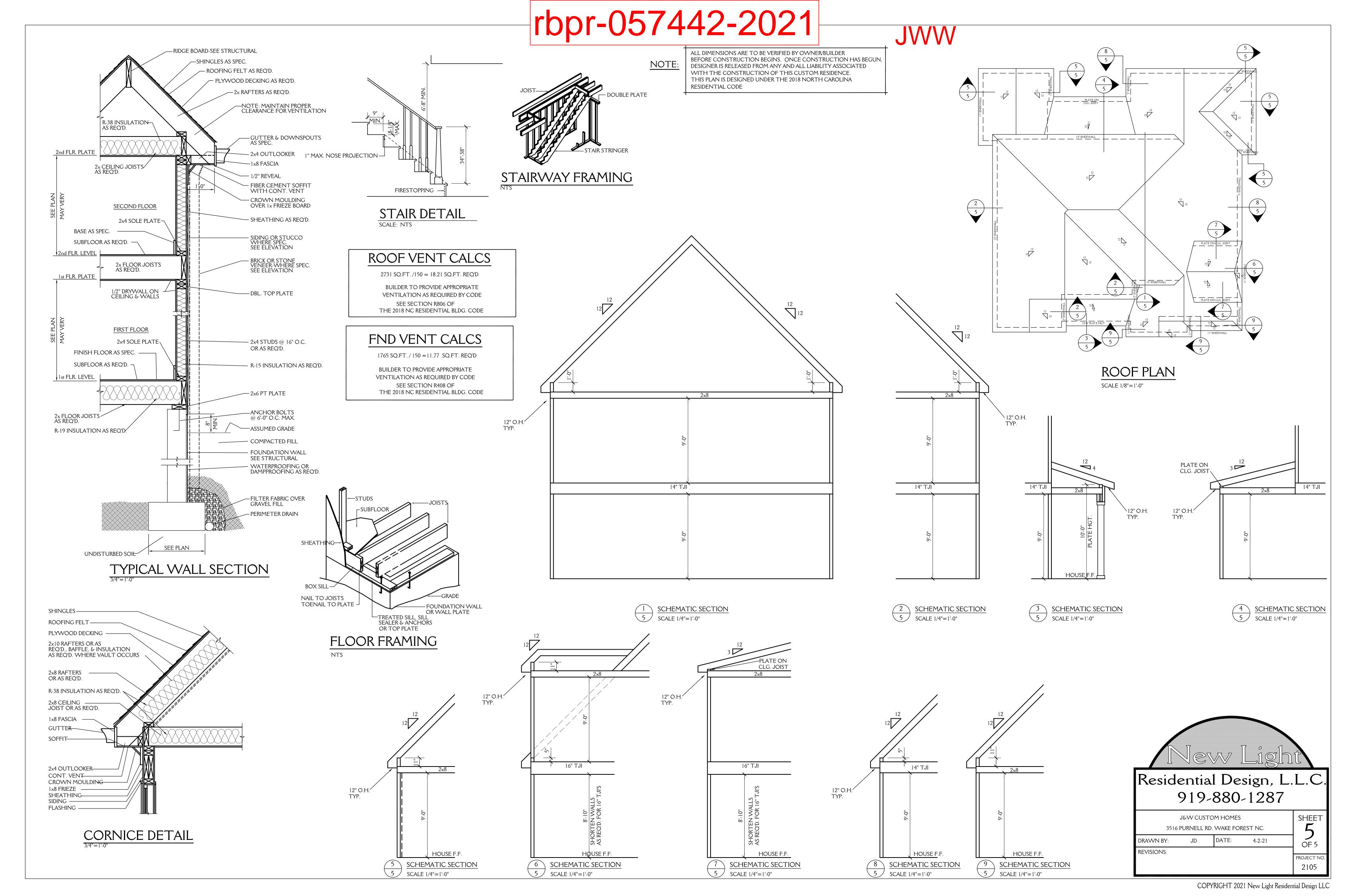
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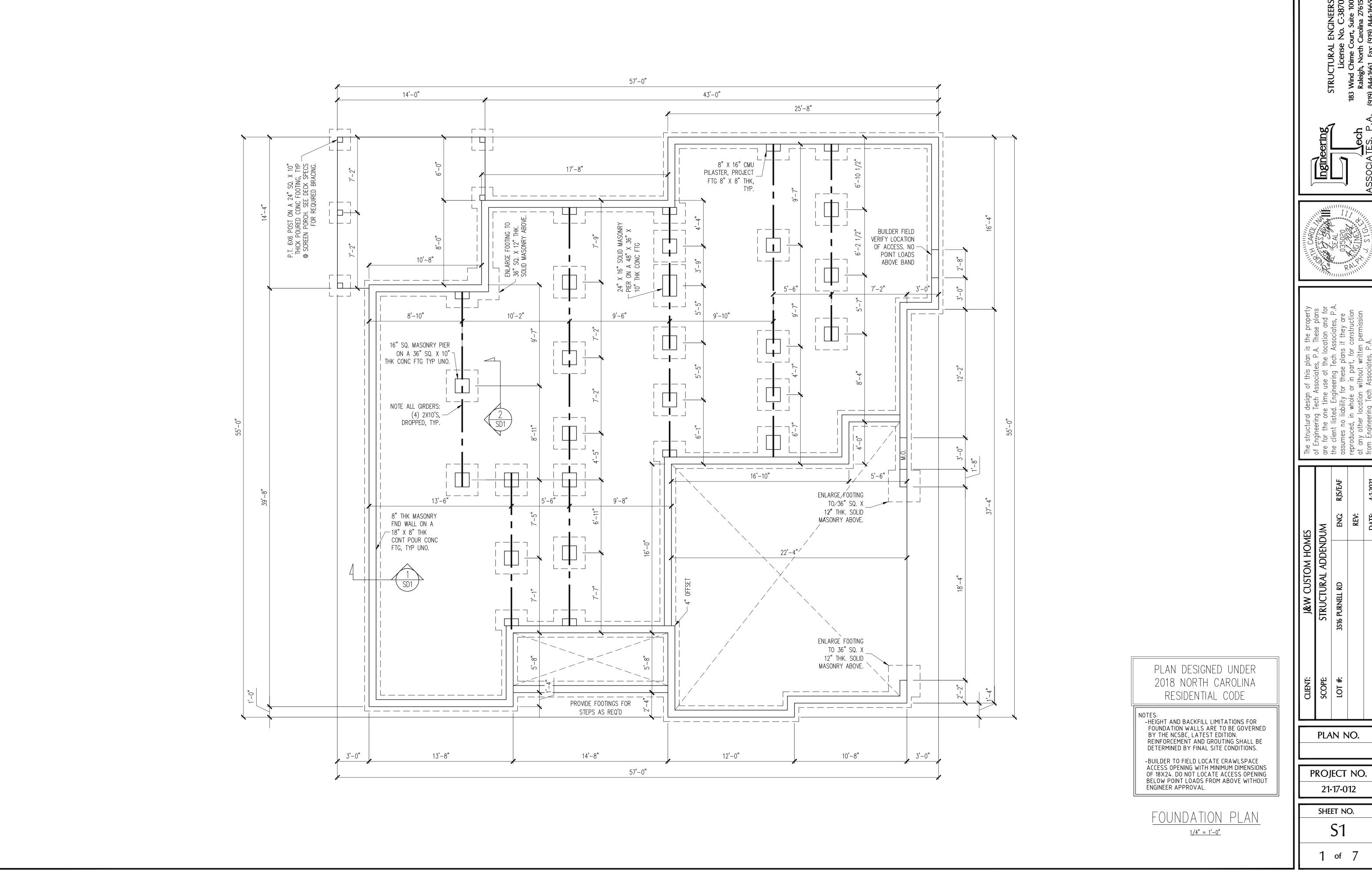
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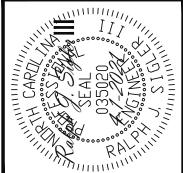


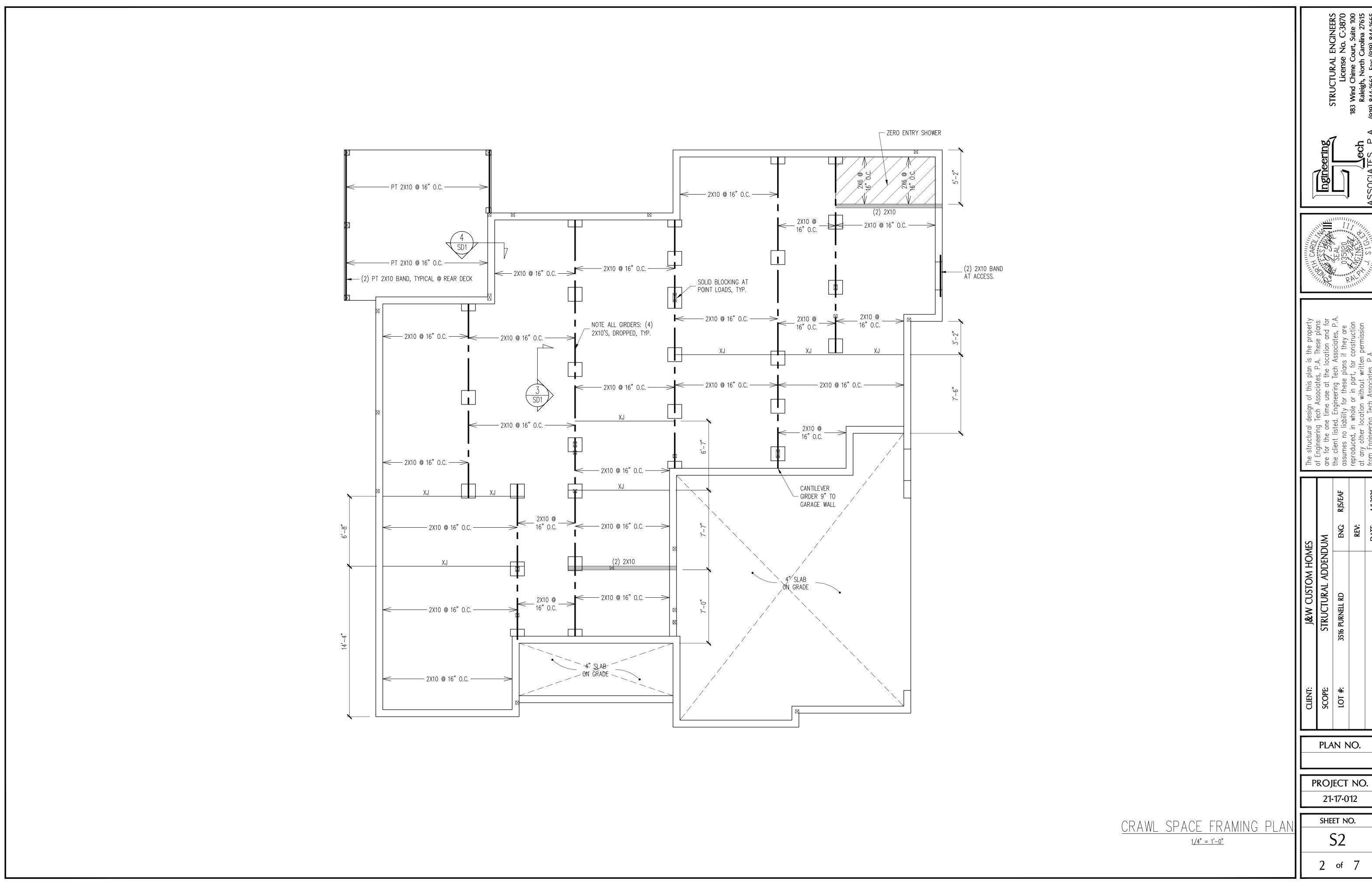
SCALE 1/4"=1'\0" 9'\0" CLG. HGT. SET WINDOWS AT 7'\8" AFF U.N.O.



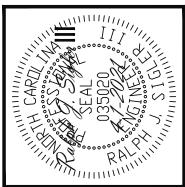




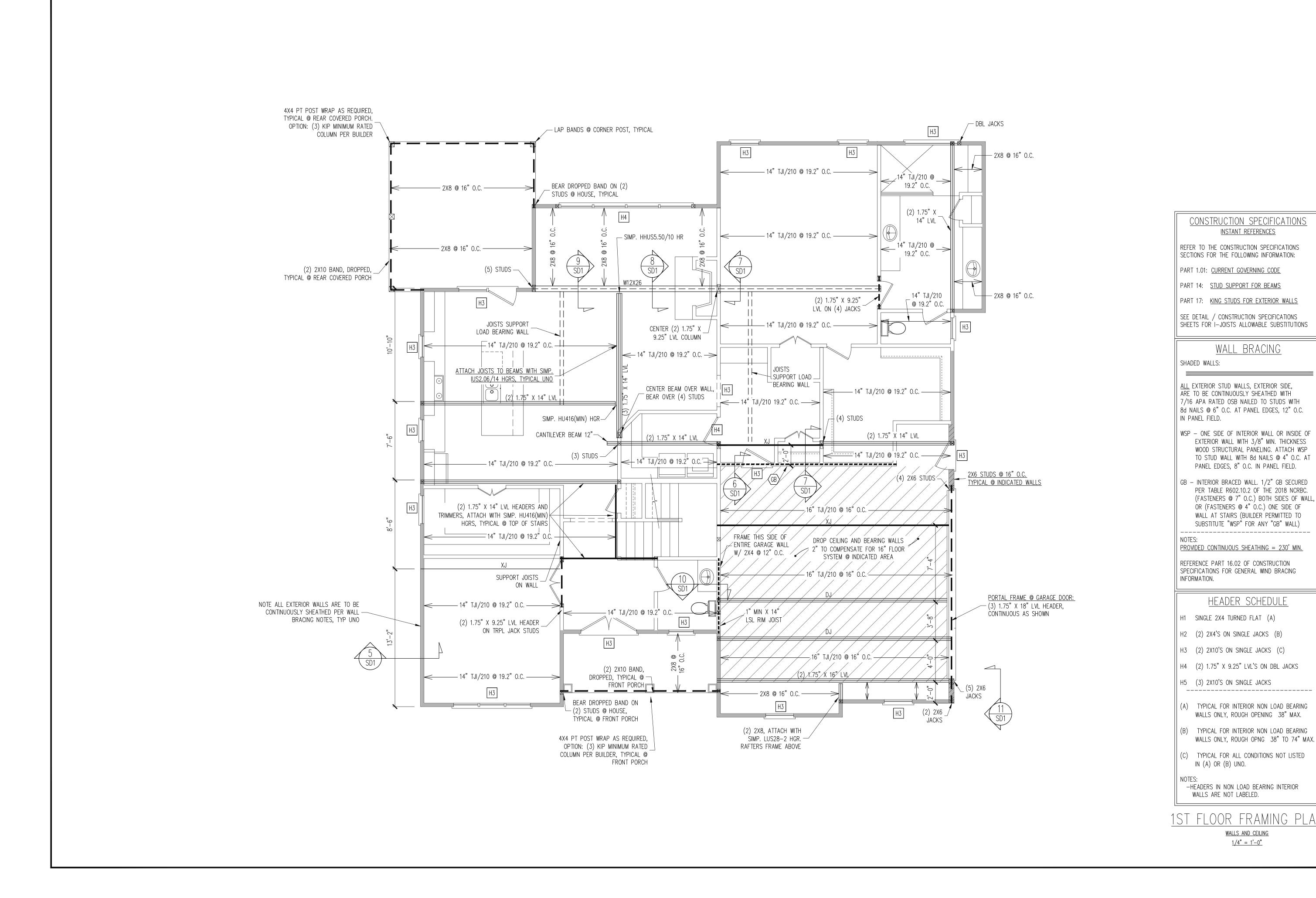




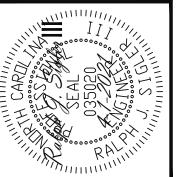




		RJS/EAF		4-1-2021
AES	MUC	ENG	REV:	DATE 4
J&W CUSTOM HOMES	STRUCTURAL ADDENDUM	3516 PURNELL RD		
CLIENT:	SCOPE	#:		







INSTANT REFERENCES

WALL BRACING

HEADER SCHEDULE

WALLS AND CEILING 1/4" = 1'-0"

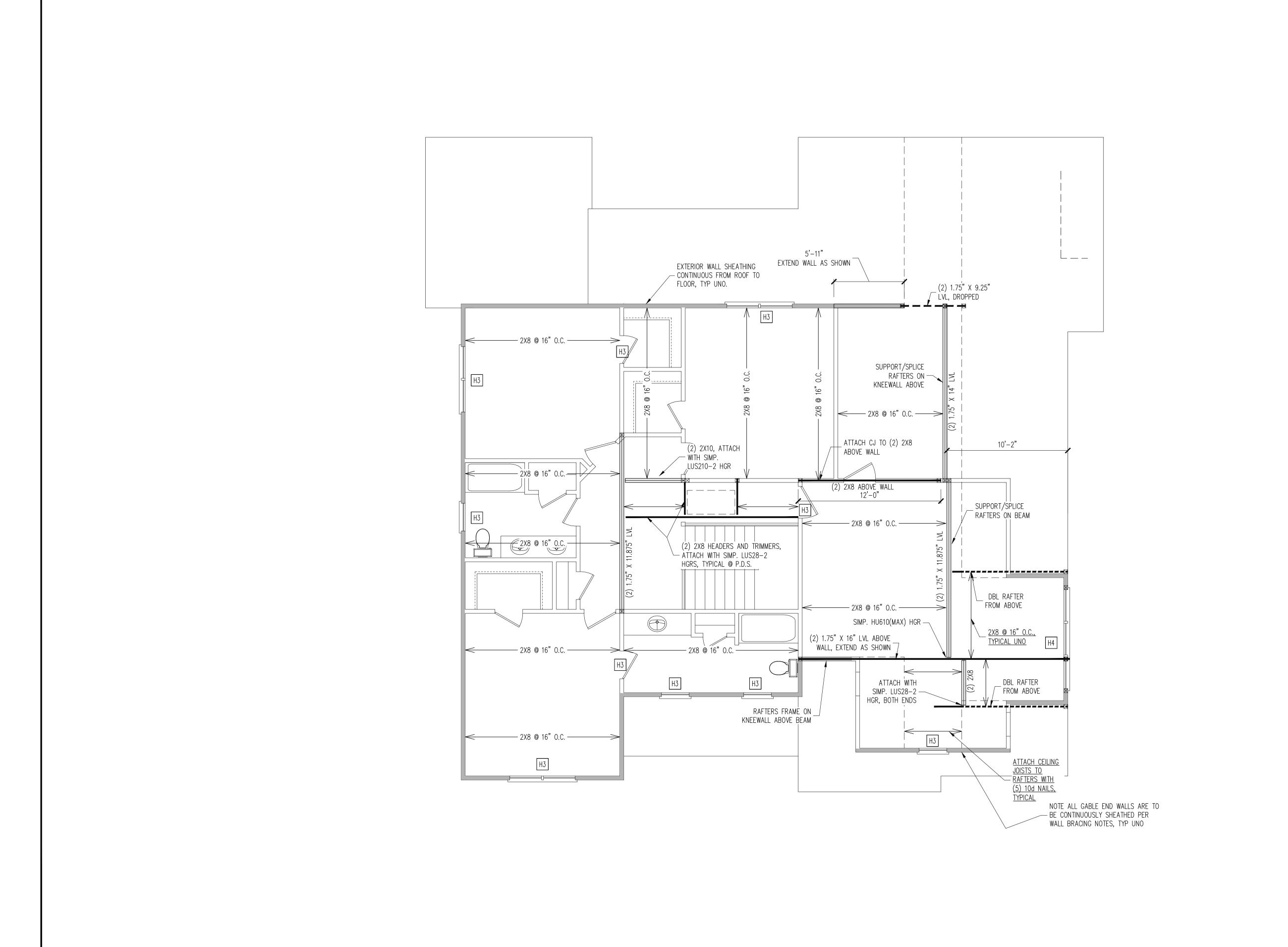
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CLIENT:	J&W CUSTOM HOMES	(ES	
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;# 1O1	3516 PURNELL RD	ENG	RJS/EAF
		REV:	
		DATE	4-1-2021

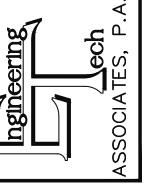
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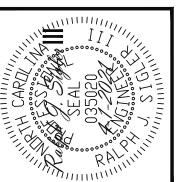
PROJECT NO. 21-17-012

SHEET NO.



STRUCTURAL ENGINEERS
License No. C-3870
3 Wind Chime Court, Suite 100
Raleigh, North Carolina 27615
9) 844-1661 Fax: (919) 844-1665





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CONSTRUCTION SPECIFICATIONS

INSTANT REFERENCES

REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODE

PART 14: <u>STUD SUPPORT FOR BEAMS</u>

SHADED WALLS:

IN PANEL FIELD.

INFORMATION.

PART 17: <u>KING STUDS FOR EXTERIOR WALLS</u>

SEE DETAIL / CONSTRUCTION SPECIFICATIONS
SHEETS FOR I—JOISTS ALLOWABLE SUBSTITUTIONS

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE,
ARE TO BE CONTINUOUSLY SHEATHED WITH
7/16 APA RATED OSB NAILED TO STUDS WITH

8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C.

PROVIDED CONTINUOUS SHEATHING = 135' MIN.

HEADER SCHEDULE

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING

H1 SINGLE 2X4 TURNED FLAT (A)

H2 (2) 2X4'S ON SINGLE JACKS (B)

| H3 (2) 2X10'S ON SINGLE JACKS (C)

(A) TYPICAL FOR INTERIOR NON LOAD BEARING

(B) TYPICAL FOR INTERIOR NON LOAD BEARING

(C) TYPICAL FOR ALL CONDITIONS NOT LISTED

-HEADERS IN NON LOAD BEARING INTERIOR

2ND FLOOR FRAMING PLAN

WALLS AND CEILING $\frac{1/4" = 1'-0"}{}$

IN (A) OR (B) UNO.

WALLS ARE NOT LABELED.

NOTES:

WALLS ONLY, ROUGH OPENING 38" MAX.

WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.

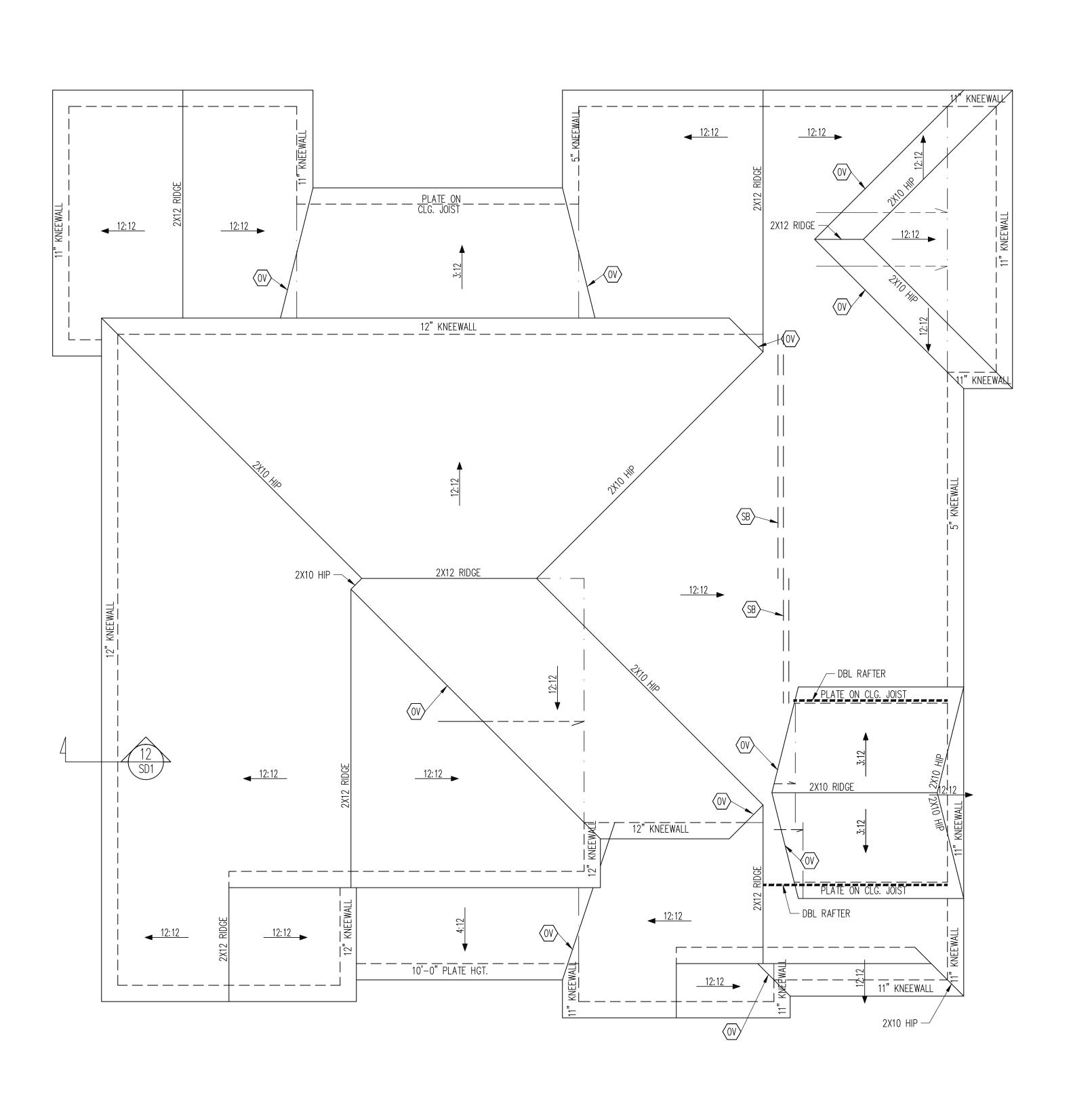
WALL BRACING

CLIENT:	J&W CUSTOM HOMES	ES	
SCOPE	STRUCTURAL ADDENDUM	WO	
1O1 #:	3516 PURNELL RD	ENG	RJS/EAF
		REV:	
		DATE	DATE: 4-1-2021

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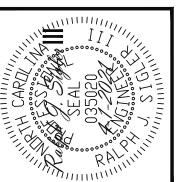
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CLIENT: J&W CUSTOM HOMES

SCOPE. STRUCTURAL ADDENDUM

LOT #: 3516 PURNELL RD ENG: RJS/EAF

REV:

REV:

DATE: 4-1-2021

FRAMING NOTES

-COMMON RAFTERS 2X8 @ 16" O.C. TYP U.N.O. -COLLAR TIES 2X4 EVERY 3RD SET OF RAFTERS TYP U.N.O.

-VERIFY ROOF PITCHES, OVERHANG LENGTHS, AND KNEEWALL FRAMING HGTS WITH ARCHITECTURAL DRAWINGS, TYPICAL.

FRAMING SCHEDULE

SB SUPPORT/SPLICE RAFTERS ON BEAM BELOW

SS SUPPORT/SPLICE RAFTERS ON KNEEWALL BELOW

ROOF FRAMING PLAN

1/4" = 1'-0"

OV OVERFRAME VALLEY (2X10 SLEEPER)

SK DBL 2X4 STIFF KNEE

ROOF ONLY

PLAN NO.

PROJECT NO. 21-17-012

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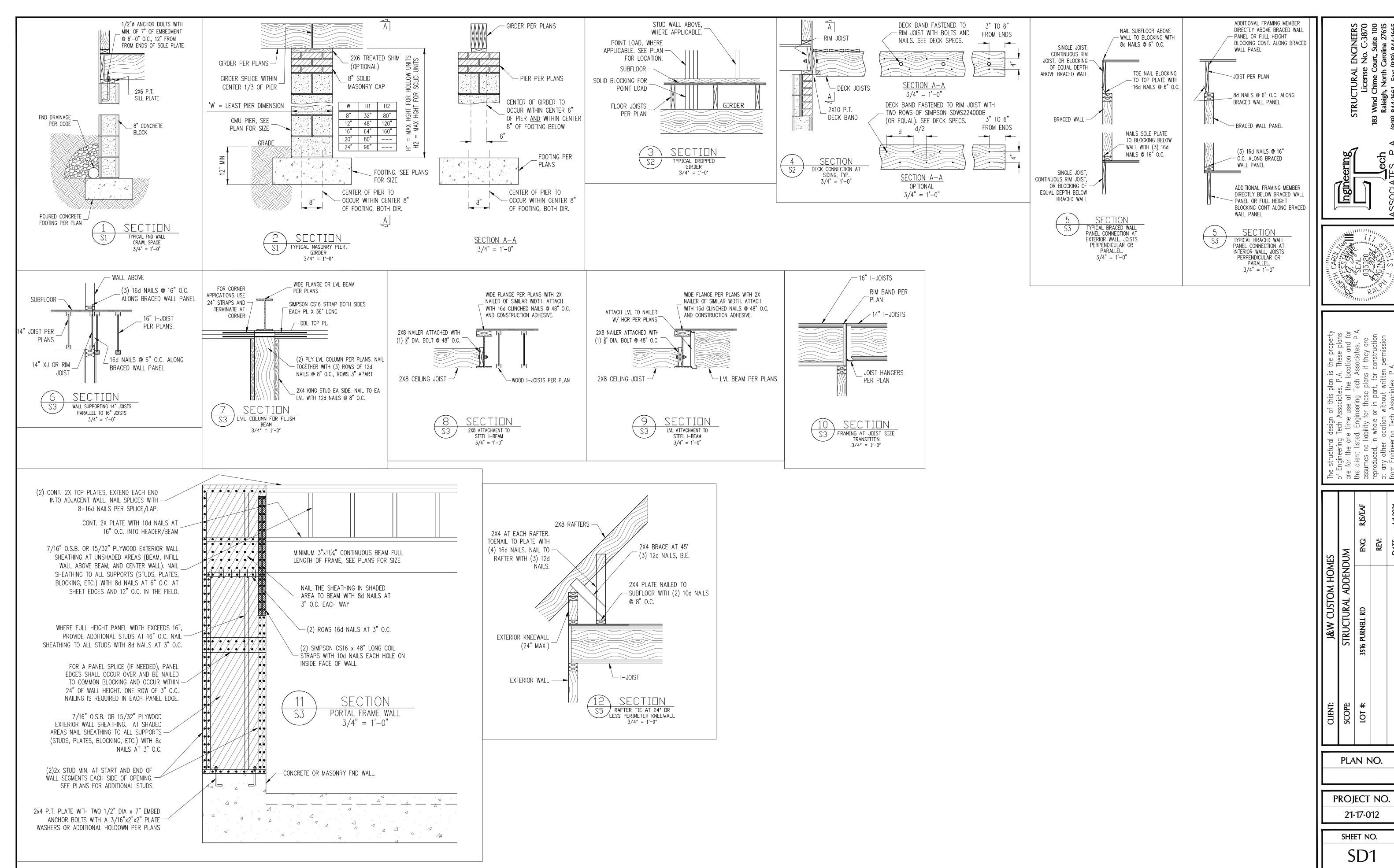
rbpr-057442-2021

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21-17-012

SHEET NO.

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rbpr-057442-2021

JWW

PART 1: GENERAL O1 CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION. O2 DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS. O5 METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION. PART 2: DESIGN LOADS	11.02 LVL OR PSL MEMBERS MAY BE RIPPED FROM DEEPER MEMBERS TO MATCH THE MEMBER DEPTH SPECIFIED IN THE PLANS			
CODE, 2018 EDITION. DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS. METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.		STALL INIMILITATILET CONTACT THE ENGINEER OF RECORD (LON) BEFORE TROCLEDING IT THE	ABV ABOVE FND FOUNDATION TJ TRIPLE JOIST B. BOTH FTG FOOTING TYP TYPICAL B.E. BOTH ENDS HDG HOT DIPPED TRPL TRIPLE	NOTE: MAINTAIN JOIST DEPTH, DIRECTION, AND SPACING SPECIFIED ON PLANS.
05 METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.	PART 12: PRESSURE TREATED LUMBER	FOLLOWING CONDITIONS ARE NOTED BEFORE OR DURING CONSTRUCTION: 1) THE WORKING PLANS DO NOT BEAR THE SEAL OF THE EOR 2) THE PLANS CONTAIN DISCREPANT OR INCOMPLETE INFORMATION	BTWN BETWEEN GALVANIZED TSP TRIPLE STUD POCKET CIP CAST IN PLACE HGR HANGER UNO UNLESS NOTED	SIMPSON FACE SIMPSON MANUFACTURER DEPTH SERIES MOUNT HGR FLANGE H
PART 2: DESIGN LOADS	12.01 LUMBER IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA STANDARD C-15. ALL OTHER EXPOSED LUMBER SHALL BE TREATED IN ACCORDANCE WITH AWPA STANDARD C-2 OR BY ANY METHOD GIVING EQUAL PROTECTION. THE BUILDING CODE OFFICE MAY ALSO APPROVE A NATURAL	ANY ERRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE	CONC CONCRETE LVL LAMINATED VENEER OTHERWISE CS CONTINUOUS SHEATHING LUMBER XJ EXTRA JOIST DIA DIAMETER NTS NOT TO SCALE DBL DOUBLE O.C. ON CENTER	BLUELINX 14" BLI 40 IUS2.56/14 ITS2.56/ BOISE CASCADE 14" BCI 5000s IUS2.06/14 ITS2.06/ BOISE CASCADE 14" BCI 6000S IUS2.37/14 ITS2.37/ LP CORP 14" LPI 20+ IUS2.56/14 ITS2.56/
	DECAY RESISTANT WOOD PER SECTION 19-6(A) PART 13: STEEL FLITCH PLATE BEAMS	SUBCONTRACTORS	DJ DOUBLE JOIST PSL PARALLEL STRAND DSP DBL STUD POCKET LUMBER	NORDIC 14" NI 40X IUS2.56/14 ITS2.56/
.01 DESIGN LOADS SHALL CONFORM WITH THE TABLE BELOW:		THE EOR DOES NOT PERFORM FENESTRATION OR VENTING CALCULATIONS OR ANY OTHER CALCULATIONS THAT ARE NOT DIRECTLY RELATED TO STRUCTURAL ENGINEERING.	EQ EQUAL PT PRESSURE TREATED EA EACH QJ QUAD JOIST	ROSEBURG 14" RFPI 40s IUS2.56/14 ITS2.56/1 WEYERHAEUSER 14" TJI 210 IUS2.06/14 ITS2.06/
USE LIVE LOAD (PSF) DEAD LOAD (PSF) BALCONIES, DECKS, ATTICS WITH FIXED STAIR ACCESS, DWELLING UNITS INCLUDING ATTICS WITH	13.01 FLITCH PLATE BEAMS SHALL CONSIST OF A CONTINUOUS STEEL PLATE BOLTED BETWEEN TWO PIECES OF CONTINUOUS LUMBER AS SIZED ON THE PLANS. BOLT PIECES TOGETHER USING 1/2" Ø BOLTS SPACED AT 24" O.C. STAGGERED TOP TO BOTTOM OF THE BEAM. MAINTAIN A 2" EDGE DISTANCE. PLACE TWO BOLTS, ONE ABOVE THE OTHER, 6" ± 2" FROM EACH END OF THE BEAM.	ROOF AND FLOOR TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED BY THE STATE. FINAL TRUSS DRAWING SHOULD BE SUBMITTED TO THE EOR FOR REVIEW	FLG FLANGE SP STUD POCKET FL PL FLITCH PLATE SQ SQUARE FLR FLOOR	WEYERHAEUSER 14" EEI-20 IUS2.37/14 ITS2.73/ BLUELINX 14" BLI 80 IUS3.56/14 ITS3.56/ LP CORP 14" LPI 42+ IUS3.56/14 ITS3.56/
FIXED STAIR ACCESS, STAIRS, FIRE ESCAPES 40 10	PART 14: STUD SUPPORTS FOR BEAMS	DECK SDEC	CIFICATIONS	NORDIC 14" NI-80 IUS3.56/14 ITS3.56/
GARAGES (PASSENGER CARS ONLY) 50 ATTICS (NO STORAGE, LESS THAN 5' HEADROOM) 10 10	14.01 STEEL, ENGINEERED LUMBER, AND FLITCH PLATE BEAMS BEARING ON A STUD WALL SHALL BEAR AS FOLLOWS:		<u> </u>	ROSEBURG 14" RFPI 80s IUS3.56/14 ITS3.56/1 - WEYERHAEUSER 14" TJI 360 IUS2.37/14 ITS2.37/1
ATTICS (WITH STORAGE) 20 10	1-WHEN THE BEAM IS PERPENDICULAR TO. OR SKEWED RELATIVE TO THE WALL. THE BEAM	1. A DECK IS AN EXPOSED EXTERIOR WOOD FLOOR STRUCTURE WHICH MAY BE ATTACHED TO A STRUCTURE OR BE FREE STANDING. ROOFED PORCHES, OPEN OR SCREENED IN, MAY BE	JOIST SPAN DECKING	WEYERHAEUSER 14" EEI-20 IUS3.56/14 ITS3.56/1
ROOF 20 10 (15 FOR VAULTS)	SHALL BEAR <u>FULL WIDTH</u> ON THE SUPPORTING WALL INDICATED AND SHALL BE SUPPORTED BY A MINIMUM OF THREE GANGED STUDS, OR A GANGED STUD COLUMN WITH A NUMBER OF STUDS SUCH THAT THE STUD COLUMN IS AT LEAST AS WIDE AS THE TRUE WIDTH OF	CONSTRUCTED USING THESE PROVISIONS. 2. SUPPORT POSTS SHALL BE SUPPORTED BY A FOOTING.	12" O.C. 1" S4S 16" O.C. 1" T&G 24" O.C. 1 1/4" S4S	BLUELINX 16" BLI 40 IUS2.56/16 ITS2.56/1 BLUELINX 16" BLI 60 IUS2.56/16 ITS2.56/1
OTES: — INDIVIDUAL STAIR TREADS ARE TO BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OF 40 PSF OR A 300 LB. CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. WHICHEVER PRODUCES THE GREATER STRESS.	THE BEAM BEING SUPPORTED, WHICHEVER IS GREATER, TYP UNO. FOR THE SKEWED CONDITION PARTICULAR CARE SHALL BE TAKEN TO ENSURE STUD COLUMN IS CENTERED ON		32" O.C. 2" S4S	BOISE CASCADE 16" BCI 5000s IUS2.06/16 ITS2.06/16 BOISE CASCADE 16" BCI 6000S IUS2.37/16 ITS2.37/16 INTERNATIONAL 16" BCI 6000S IUS2.37/16 ITS2.37/16
- BUILDER TO VERIFY DEAD LOAD DOES NOT EXCEED 10 PSF WHEN HEAVY FLOOR OR ROOF FINISHES SUCH AS TILE OR SLATE ARE UTILIZED. NOTIFY ENGINEERING UNDER THESE CONDITIONS	THE BEAM 2-BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 4 1/2" ONTO THE WALL AND BE SUPPORTED BY A TRPL STUD GANGED COLUMN TYP UNO.	TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION RESISTANT FLASHING SHALL BE USED TO PREVENT MOISTURE FROM COMING IN CONTACT WITH THE UNTREATED FRAMING OF THE STRUCTURE. THE DECK BAND AND THE STRUCTURE BAND SHALL BE	9. MAXIMUM HEIGHT OF DECK SUPPORT POSTS IS AS FOLLOWS: POST SIZE MAX POST HEIGHT	INTERNATIONAL
.02 INTERIOR WALLS: 5 PSF LATERAL.	14.02 DIMENSIONAL LUMBER BEAMS BEARING ON A STUD WALL SHALL BEAR AS FOLLOWS:	CONSTRUCTED IN CONTACT WITH EACH OTHER EXCEPT AT BRICK VENEER AND WHERE PLYWOOD SHEATHING IS REQUIRED AND PROPERLY FLASHED. SIDING SHALL NOT BE	4X4 8' 6X6 20'	NORDIC 16" NI 40X IUS2.56/16 ITS2.56/16 ROSEBURG 16" RFPI 60S IUS2.56/16 ITS2.56/16
.03 BASIC WIND DESIGN VELOCITY OF 120 MPH.	1-WHEN THE BEAM IS PERPENDICULAR TO, OR SKEWED RELATIVE TO THE WALL, THE BEAM	INSTALLED BETWEEN THE STRUCTURE AND THE DECK BAND. IF ATTACHED TO A BRICK STRUCTURE, NEITHER FLASHING NOR A TREATED BAND FOR THE BRICK STRUCTURE	ENGINEERED 20' +	WEYERHAEUSER 16" TJI 210 IUS2.06/16 ITS2.06/16
.04 SOIL BEARING CAPACITY 2000 PSF (PRESUMPTIVE). PART 3: STRUCTURAL STEEL	SHALL BEAR <u>FULL WIDTH</u> ON THE SUPPORTING WALL INDICATED (LESS 1 1/2" TO ALLOW FOR A CONTINUOUS RIM JOIST WHERE APPLICABLE) AND SHALL BE SUPPORTED BY A GANGED STUD COLUMN THE SAME WIDTH AS THE BEAM TYP UNO. (E.G. A TRIPLE 2X10 IS	IS REQUIRED. IN ADDITION, THE TREATED DECK BAND SHALL BE CONSTRUCTED IN CONTACT WITH THE BRICK	NOTES: 1) THIS TABLE IS BASED ON NO. 2 TREATED SOUTHERN PINE POSTS. 2) THIS TABLE IS BASED ON A MAXIMUM TRIBUTARY AREA OF 128 SQ. FT.	BOISE CASCADE 16" BCI 60s IUS2.37/16 ITS2.37/16 LP CORP 16" LP 36 IUS2.37/16 ITS2.37/16 LP CORP 16" LP 42+ IUS2.56/16 ITS2.56/16
.01 WIDE FLANGE BEAMS AND TEE SECTIONS SHALL CONFORM TO ASTM A992 MINIMUM GRADE	TO BE SUPPORTED BY (3) STUDS). FOR THE SKEWED CONDITION PÀRTICULAR CARE SHALL BE TAKEN TO ENSURE STUD COLUMN IS CENTERED ON THE BEAM 2-BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 3" ONTO THE WALL AND BE SUPPORTED BY A DBL STUD GANGED COLUMN	4. WHEN THE DECK IS SUPPORTED AT THE STRUCTURE BY ATTACHING THE DECK TO THE STRUCTURE, THE FOLLOWING ATTACHMENT SCHEDULES SHALL APPLY FOR ATTACHING THE DECK BAND TO THE STRUCTURE:	3) POST HEIGHT IS FROM TOP OF FOOTING TO BOTTOM OF GIRDER. 10. DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY BY ONE OF THE FOLLOWING	NORDIC 16" NI 70 IUS2.56/16 ITS2.56/ ROSEBURG 16" RFPI 70 IUS2.37/16 ITS2.37/
.02 SQUARE AND RECTANGULAR TUBING SHALL CONFORM TO ASTM A500 GRADE B MINIMUM GRADE.	TYP UNO.	A. ALL STRUCTURES EXCEPT BRICK STRUCTURES	METHODS:	WEYERHAEUSER 16" TJI 360 IUS2.37/16 ITS2.37/1 WEYERHAEUSER 16" EEI-30 IUS2.37/16 ITS2.73/
.03 STEEL PIPE SHALL CONFORM TO ASTM A53 GRADE B, TYPE S, MINIMUM GRADE	14.03 EXTRA JOISTS BEARING ON A STUD WALL PERPENDICULAR TO OR SKEWED RELATIVE TO THE BEAM SHALL BE SUPPORTED BY ONE ADDITIONAL STUD.	JOIST LENGTH	A. WHEN THE DECK FLOOR HEIGHT IS LESS THAN 4'-0" AND THE DECK IS ATTACHED TO THE STRUCTURE IN ACCORDANCE WITH SECTION 4, LATERAL BRACING IS NOT REQUIRED.	JOISTS NOT LISTED IN THE ABOVE TABLE MAY BE USED PROVIDED THEY
.04 ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 MINIMUM GRADE	14.04 STUDS THAT ARE GANGED TO FORM A COLUMN SHALL HAVE ADJACENT STUDS WITHIN THE COLUMN NAILED TOGETHER WITH ONE ROW OF 10d NAILS AT 8" O.C. (TWO ROWS	UP TO 8' MAX. UP TO 16' MAX. REQUIRED ONE— 5/8" Ø BOLT @ 42" O.C. AND ONE— 5/8" Ø BOLT @ 20" O.C. AND	B. 4X4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS.	MEET OR EXCEED THE PROPERTIES OF THOSE LISTED. SUBSTITUTE USP BRAND HANGERS WITH EQUIVALENT VALUES AS DESIRED.
.05 STRUCTURAL STEEL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.	OF 10d NAILS @ 8" O.C., 3" APART, FOR 2X8 OR 2X10 STUDS) ALL COLUMNS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR OTHER PROPERLY DESIGNED STRUCTURAL ELEMENT SUCH AS A BEAM. COLUMNS TRANSFERRING LOADS THROUGH FLOOR LEVELS SHALL BE SOLIDLY BLOCKED FOR THE FULL WIDTH OF THE STUD COLUMN	FASTENERS (2) ROWS OF 12d NAILS @ 8" O.C. OR (3) ROWS OF 12d NAILS @ 6" O.C. OR TWO ROWS OF SIMPSON SDWS22400DB TWO ROWS OF SIMPSON SDWS22400DB	THE KNEE BRACES SHALL ATTACH TO EACH POST AT A POINT NOT LESS THAN 1/3 OF THE POST LENGTH FROM THE TOP OF THE POST, AND THE BRACES SHALL BE ANGLED BETWEEN 45° AND 60° FROM THE HORIZONTAL. KNEE BRACES SHALL BE ATTACHED AT THE ENDS TO THE GIRDER AND THE POST WITH ONE — 5/8° Ø BOLT	
PART 4: WELDING .01 WELDING ELECTRODES SHALL BE E70XX AND ALL WELDING SHALL BE PERFORMED BY AN	WITHIN THE CAVITY FORMED BY THE FLOOR JOISTS.	A . BRICK VENEER STRUCTURES	C. FOR FREE STANDING DECKS WITHOUT KNEE BRACES OR DIAGONAL BRACING, LATERAL	
AWS CERTIFIED WELDER	PART 15: NAILING OF MULTI PLY WOOD BEAMS	JOIST LENGTH	STABILITY MAY BE PROVIDED BY EMBEDDING THE POSTS IN CONCRETE IN ACCORDANCE WITH THE FOLLOWING:	
PART 5: CONCRETE AND SLABS ON GRADE OF CONCRETE SHALL BE OF NORMAL WEIGHT, 6% AIR ENTRAINMENT, AND	15.01 SOLID SAWN LUMBER JOISTS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM NAILED TOGETHER WITH THREE ROWS OF 10d NAILS	UP TO 8' MAX. UP TO 16' MAX. REQUIRED ONE 5 (9" 4 DOLT @ 39" O.C. ONE 5 (9" 4 DOLT @ 16" O.C.	POST SIZE TRIBUT. AREA POST HEIGHT EMB. DEPTH CONC. DIAM.	
SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS TYP UNO. ALL CONCRETE, INCLUDING CONCRETE FOR FOOTINGS, IS TO BE CAST IN PLACE, TYP	@ 16" O.C. FOR 2X10 OR LARGER, TWO ROWS OF 10d NAILS @ 16" O.C. FOR 2X8, ONE ROW OF 10d NAILS @ 16" O.C. FOR 2X6 OR SMALLER. STAGGER ROWS 5" MIN.	FASTENERS ONE— 5/8" Ø BOLT @ 28" O.C. ONE— 5/8" Ø BOLT @ 16" O.C.	4X4 48 SQ. FT. 4'-0" 2'-6" 1'-0"	
UNO. REINFORCED CAST IN PLACE CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF ACI 318, LATEST EDITION.	15.02 LVL MEMBERS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM FASTENED TOGETHER PER MANUFACTURERS RECOMMENDATIONS, TYP UNO	5. IF THE DECK BAND IS SUPPORTED BY A 1/2" MINIMUM MASONRY LEDGE ALONG THE FOUNDATION WALL, 5/8" Ø BOLTS SPACED @ 48" O.C. MAY BE USED FOR SUPPORT.	D. 2X6 DIAGONAL VERTICAL CROSS BRACING SHALL BE PROVIDED IN TWO PERPENDICULAR DIRECTIONS FOR FREE STANDING DECKS OR PARALLEL TO THE STRUCTURE AT THE	
.03 SLABS ON GRADE, IF ANY, SHALL CONTAIN SYNTHETIC POLYPROPYLENE FIBRILLATED	PART 16: WALL FRAMING AND BRACING	6. OTHER MEANS OF SUPPORT, SUCH AS JOIST HANGERS, MAY BE USED TO CONNECT DECK JOISTS TO A TREATED STRUCTURE BAND	EXTERIOR COLUMN LINE FOR ATTACHED DECKS. THE BRACES SHALL BE ATTACHED TO THE POSTS WITH ONE — 5/8" Ø BOLT AT EACH END OF THE BRACE.	
MICRO FIBERS, FIBER LENGTH 1 1/2", DOSAGE RATE 1 1/2 LBS/CU YD. SLAB TO BE PLACED ON A 6 MIL VAPOR BARRIER ON 2" MIN GRANULAR FILL ON SOIL WITH 90% MIN STANDARD PROCTOR DENSITY. VAPOR BARRIER MAY BE OMITTED FOR SLABS NOT IN ENCLOSED AREAS	16.01 STUD WALLS SHALL CONSIST OF 2X4 STUDS SPACED AT 16" O.C. UNO. STUDS SHALL BE CONTINUOUS FROM SOLE PLATE AT FLOOR TO DOUBLE TOP PLATE AT THE CEILING OR ROOF. NO INTERMEDIATE BANDS OR PLATES SHALL CAUSE DISCONTINUITIES IN A STUD WALL EXCEPT AS REQUIRED FOR DOOR OR WINDOW OPENINGS. THE KING STUDS	7. GIRDERS SHALL BEAR DIRECTLY ON POSTS OR BE BE CONNECTED TO THE SIDES OF POSTS WITH 2- 5/8" Ø BOLTS	·	
PART 6: REBAR AND WIRE REINFORCEMENT	FOR SUCH OPENINGS SHALL BE CONTINUOUS, TYP UNO. MAX ALLOWARIE WALL HEIGHTS FOR EXTERIOR STUD WALLS INCLUSIVE OF SOLE	8. FLOOR DECKING SHALL BE NO. 2 GRADE TREATED SOUTHERN PINE OR EQUIVALENT. THE MINIMUM FLOOR DECKING THICKNESS SHALL BE AS FOLLOWS:	3) NAILS MUST PENETRATE THE SUPPORTING STRUCTURE BAND A MINIMUM OF 1 1/2".	
.01 REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60 TYP UNO	PLATE AND DBL TOP PLATE AND 7/16" OSB EXTERIOR BRACING AND ROW OF 2X4 2X6 PURLINS AT 8' HEIGHT (AND AT 16' HEIGHT FOR TALL WALLS), TYP UNO:	MINIMOM LOOK DECKING HIICKNESS SHALL DE AS LOLLONS.		
.02 LAP SPLICES SHALL BE CLASS B AS DEFINED BY ACI 318, TYP UNO	2X4 @ 16" O.C.: 11'-1 1/2" 2X6 @ 16" O.C.: 17'-0" 2X4 @ 12" O.C.: 12'-1 1/2" 2X6 @ 12" O.C.: 18'-8"			
.03 WIRE REINFORCEMENT SHALL BE 9 GA AND SHALL CONFORM TO ASTM A1064. PART 7: MASONRY	DBL 2X4 @ 16" O.C.: 13'-4" DBL 2X6 @ 16" O.C.: 21'-0" 16.02 FOR WALL BRACING THE FOLLOWING SHALL APPLY:			•
.01 CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 AND C55, NORMAL WEIGHT, f'M = 1,500 PSI MIN	-BLOCKING AT UNSUPPORTED PANEL EDGES IS REQUIRED TYP UNOWALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2018 NCRC. CONTINUOUS SHEATHING HAS BEEN PROVIDED. ALONG			
.02 CLAY MASONRY UNITS SHALL CONFORM TO ASTM C62-17 GRADE SW	WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2018 NCRC HAS BEEN MET AND EXCEEDEDBRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH TABLE 602.3(1) TO			
.03 MORTAR SHALL BE TYPE S. MORTAR AND GROUT SHALL CONFORM TO ASTM C476, MIN COMPRESSIVE STRENGTH OF 2000 PSI.	PROVIDE CONTINUOUS PANEL UPLIFT RESISTANCE AND COMPLIANCE WITH NCRBC 'R602.3.5 AND R802.11 UNLESS NOTED OTHERWISE ON STRUCTURAL PLANS.			
.04 MASONRY CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS OF ACI 530	-MAY SUBSTITUTE WSP FOR GB -SINGLE JOIST, CONTINUOUS RIM JOIST, OR BLOCKING OF EQUAL DEPTH IS REQUIRED			
.05 LADDER WIRE REINFORCEMENT SHALL CONFORM TO ASTM A951. 6" MIN LAPS FOR CONTINUOUS WALL APPLICATIONS	ABOVE AND BELOW ALL BRACED WALL'S. NAIL BLOCKING ABOVE WALL TO TOP PLATE WITH 16d TOE NAILS @ 6" O.C. NAIL SOLE PLATE OF BRACED WALL TO BLOCKING BELOW WITH (3) 16d NAILS @ 16" O.C. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO.			
PART 8: BOLTS AND LAG SCREWS .01 BOLTS SHALL CONFORM TO ASTM A307 MINIMUM GRADE TYP UNO. INSTALL STANDARD	PART 17: KING STUDS			

STEEL WASHERS (ASTM F844-07a) FOR THE NUT / BOLT HEAD WHEN BOLTING WOOD 17.01 KING STUDS FOR OPENINGS IN EXTERIOR WALLS SHALL BE AS FOLLOWS:

8.02 LAG SCREWS SHALL CONFORM TO ANSI/ASME STANDARD B18.2.1—1981. PILOT HOLES SHALL BE USED FOR LAG SCREW INSTALLATION AND SHALL BE BORED ACCORDING TO

NDS SPECIFICATIONS. INSTALL STANDARD STEEL WASHERS (ASTM F844-07a) FOR

8.03 ANCHOR RODS AND BOLTS SHALL CONFORM TO ASTM F1554-15 GRADE 36 UNO. BENT

9.01 NAILS, SPIKES AND STAPLES SHALL CONFORM TO ASTM F 1667— 05. NAILS ARE TO BE COMMON WIRE OR BOX

10.01 SOLID SAWN WOOD FRAMING DESIGN IS BASED ON NO. 2 SPRUCE PINE FIR <u>OR</u> SYP #2 FOR JOISTS, RAFTERS, GIRDERS, BEAMS, STUDS, ETC.

11.01 LVL OR PSL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:

E= 1.9 X 10E6 PSI, Fb = 2600 PSI, Fv = 285 PSI, Fc = 750 PSI
LSL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:

E= 1.3 X 10E6 PSI, Fb = 1700 PSI, Fv = 400 PSI, Fc = 680 PSI

ANCHOR BOLTS SHALL HAVE A 2" MIN HOOK UNO

PART 9: DRIVEN FASTENERS

PART 10: DIMENSIONAL LUMBER

PART 11: ENGINEERED LUMBER

NUMBER OF KING STUDS

18.01 MATERIAL OR MEMBER SIZE SUBSTITUTIONS OR PLAN DEVIATIONS REQUIRE THE WRITTEN

19.01 THE STRUCTURAL DESIGN OF THIS PLAN IS THE PROPERTY OF ENGINEERING TECH

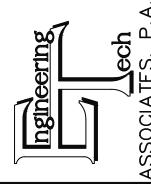
AUTHORIZATION OF THE DESIGNERS. UNAUTHORIZED DEVIATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

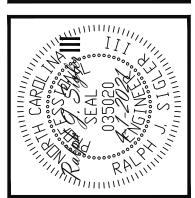
ASSOCIATES (ETA). THESE PLANS ARE FOR THE ONE TIME USE AT THE LOCATION INDICATED AND FOR THE CLIENT LISTED. ETA ASSUMES NO LIABILITY FOR THESE PLANS IF THEY ARE REPRODUCED, IN WHOLE OR IN PART, FOR CONSTRUCTION AT ANY OTHER LOCATION WITHOUT WRITTEN PERMISSION FROM ETA

MAX OPENING WIDTH 5'-0" 9'-0" 13'-0" 17'-0" 21'-0"

PART 19: OWNERSHIP OF STRUCTURAL DESIGN

PART 18: SUBSTITUTIONS





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		RJS/EAF		4-1-2021
MES	MUQ	ENG	REV:	DATE
J&W CUSTOM HOMES	STRUCTURAL ADDENDUM	3516 PURNELL RD		
CLIENT:	SCOPE	LOT #:		

PLAN NO.

PROJECT NO. 21-17-012

SHEET NO.