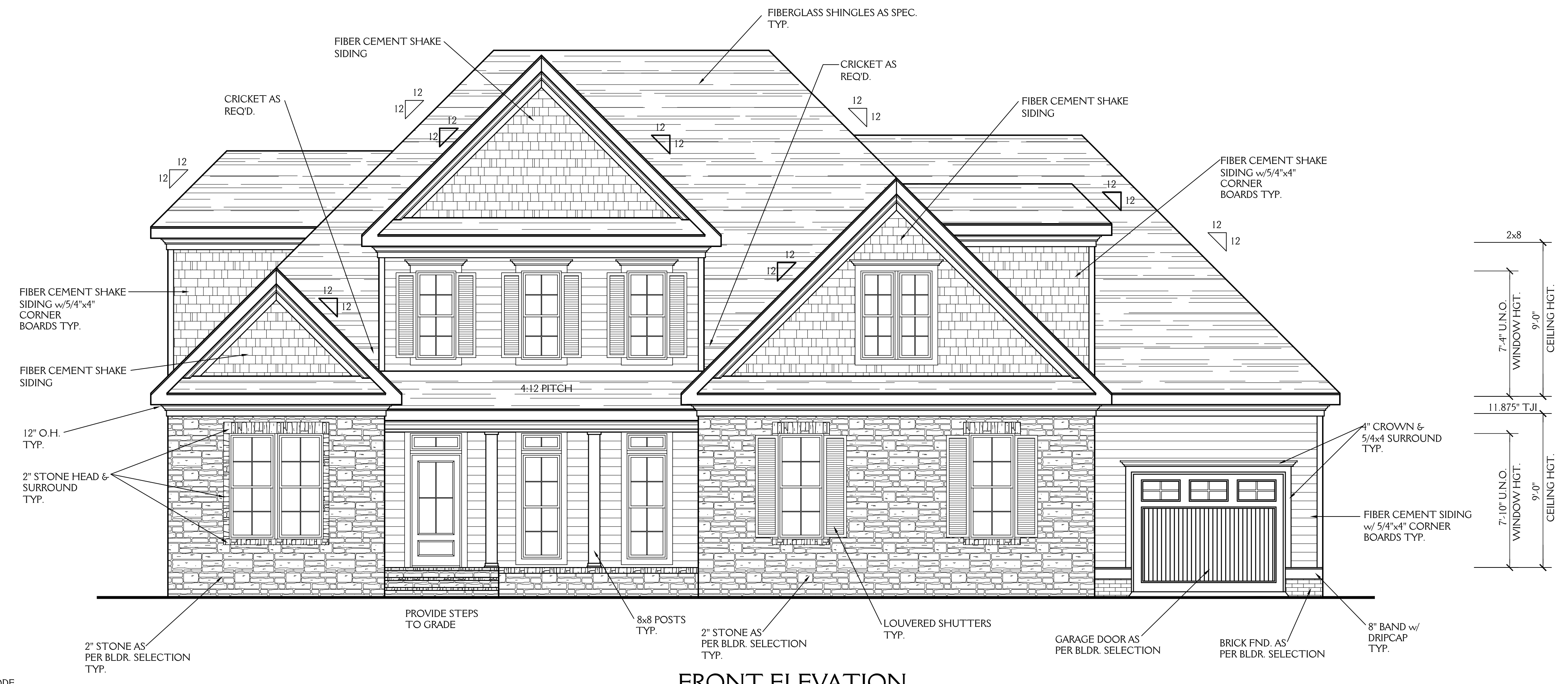


**NOTE:**

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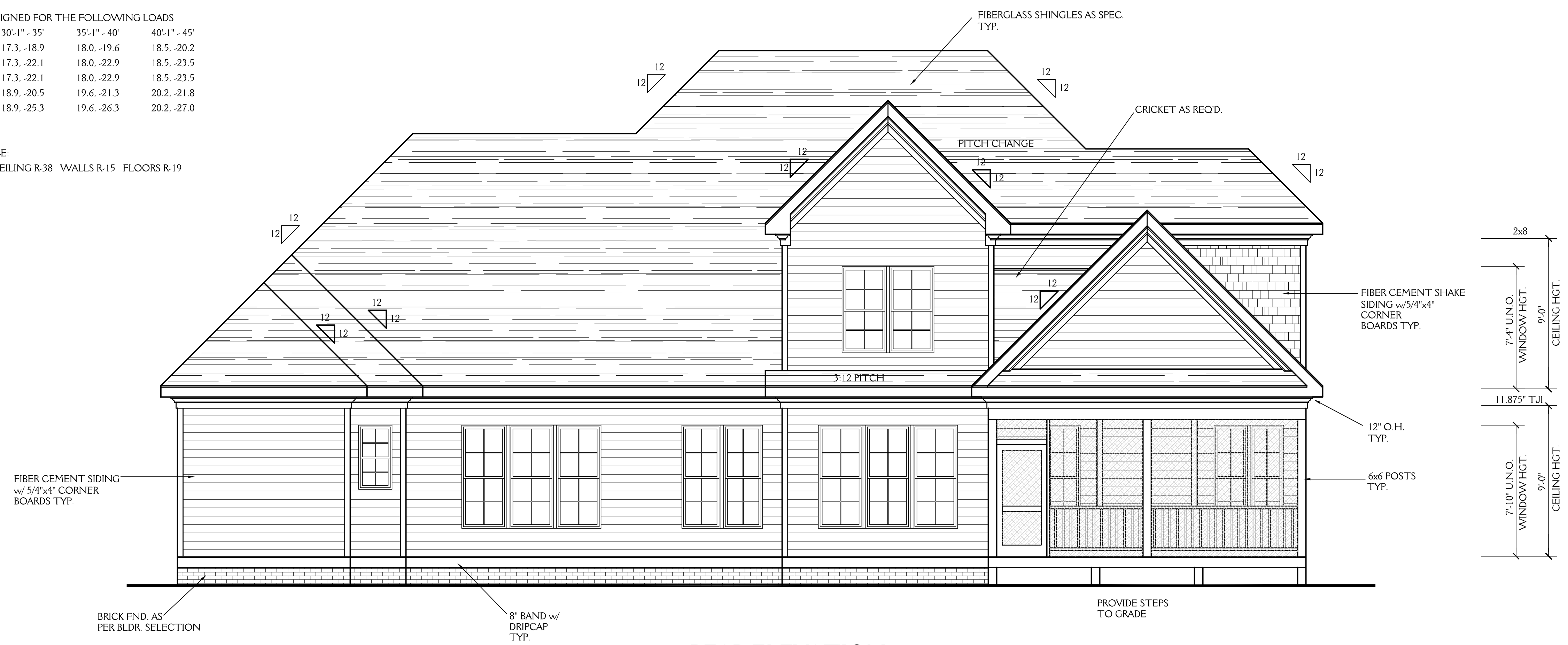
**FRONT ELEVATION**  
SCALE 1/4"=1'-0"

PLANS DESIGNED TO THE 2012 NORTH CAROLINA RESIDENTIAL CODE  
HOUSE DESIGNED FOR 100 MPH 3 SECOND GUST (80 FASTEST MILE), EXPOSURE B  
ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF ALL PLATES SPLICES  
ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7" INTO MASONRY OR CONCRETE

MEAN ROOF HEIGHT = < 30'-0"

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

MINIMUM VALUES FOR ENERGY COMPLIANCE:  
ZONE 4 MAX GLAZING U-FACTOR = 0.35 CEILING R-38 WALLS R-15 FLOORS R-19



**REAR ELEVATION**  
SCALE 1/4"=1'-0"

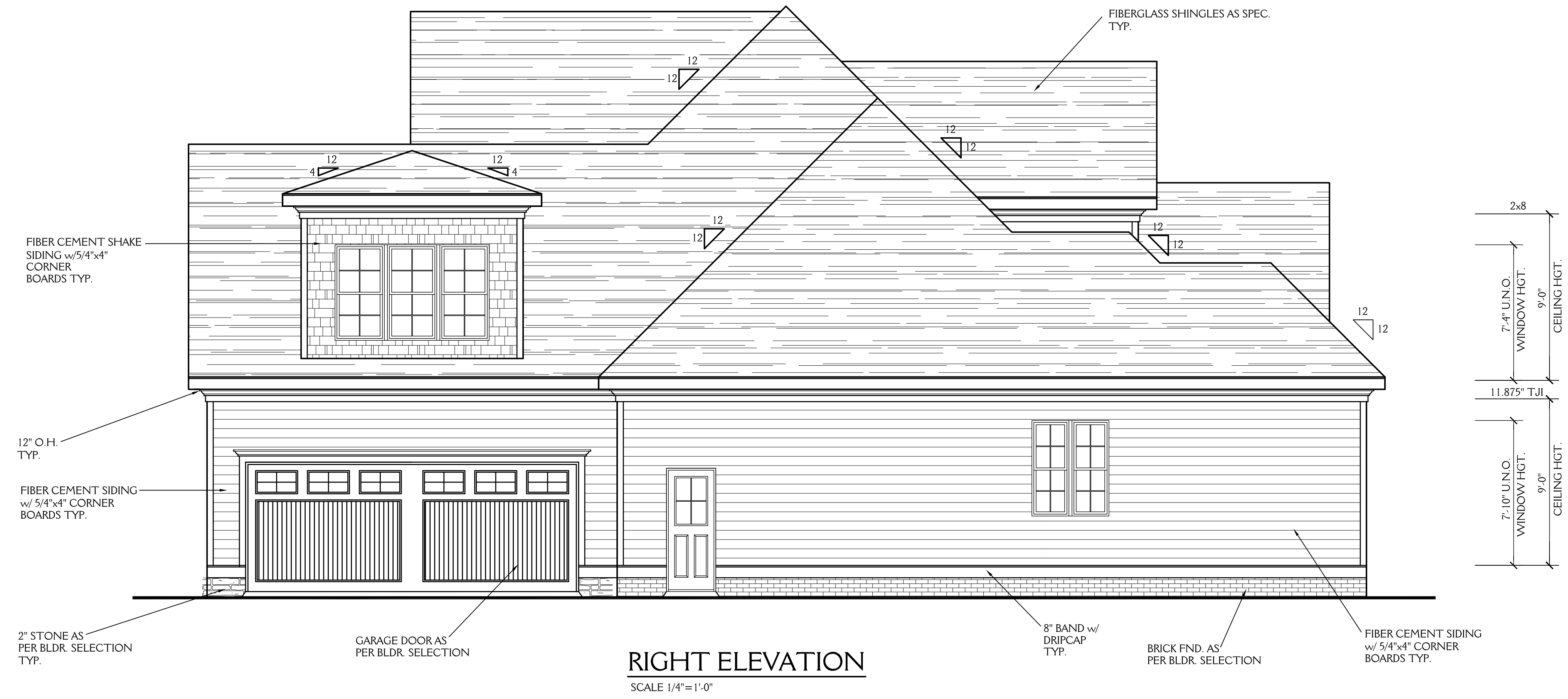
1951 SQ FT HTD (1ST FLOOR)	104 SQ FT (PORCH)
1345 SQ FT HTD (2ND FLOOR)	282 SQ FT (SCR. PORCH)
3296 SQ FT HTD TOTAL	940 SQ FT (GARAGE)
	1326 UNHEATED TOTAL

**New Light**  
Residential Design, L.L.C.  
919-880-1287

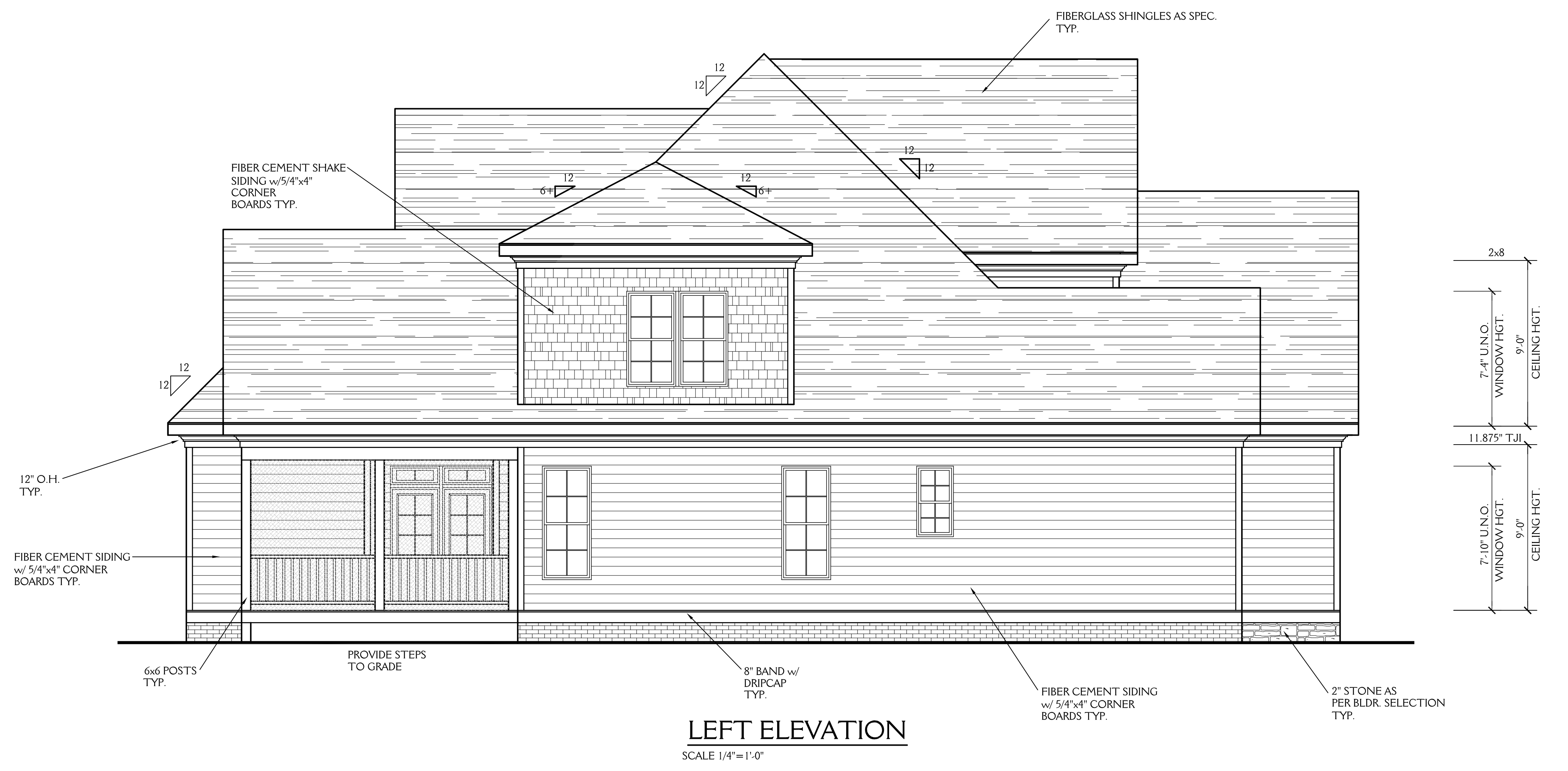
NORTH CAROLINA EXTERIORS LOT 27 WESLEY MANOR		SHEET <b>1</b> OF 5
DRAWN BY: JD	DATE: 9-7-18	
REVISIONS:		PROJECT NO. 1845

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**RIGHT ELEVATION**  
SCALE 1/4"=1'-0"



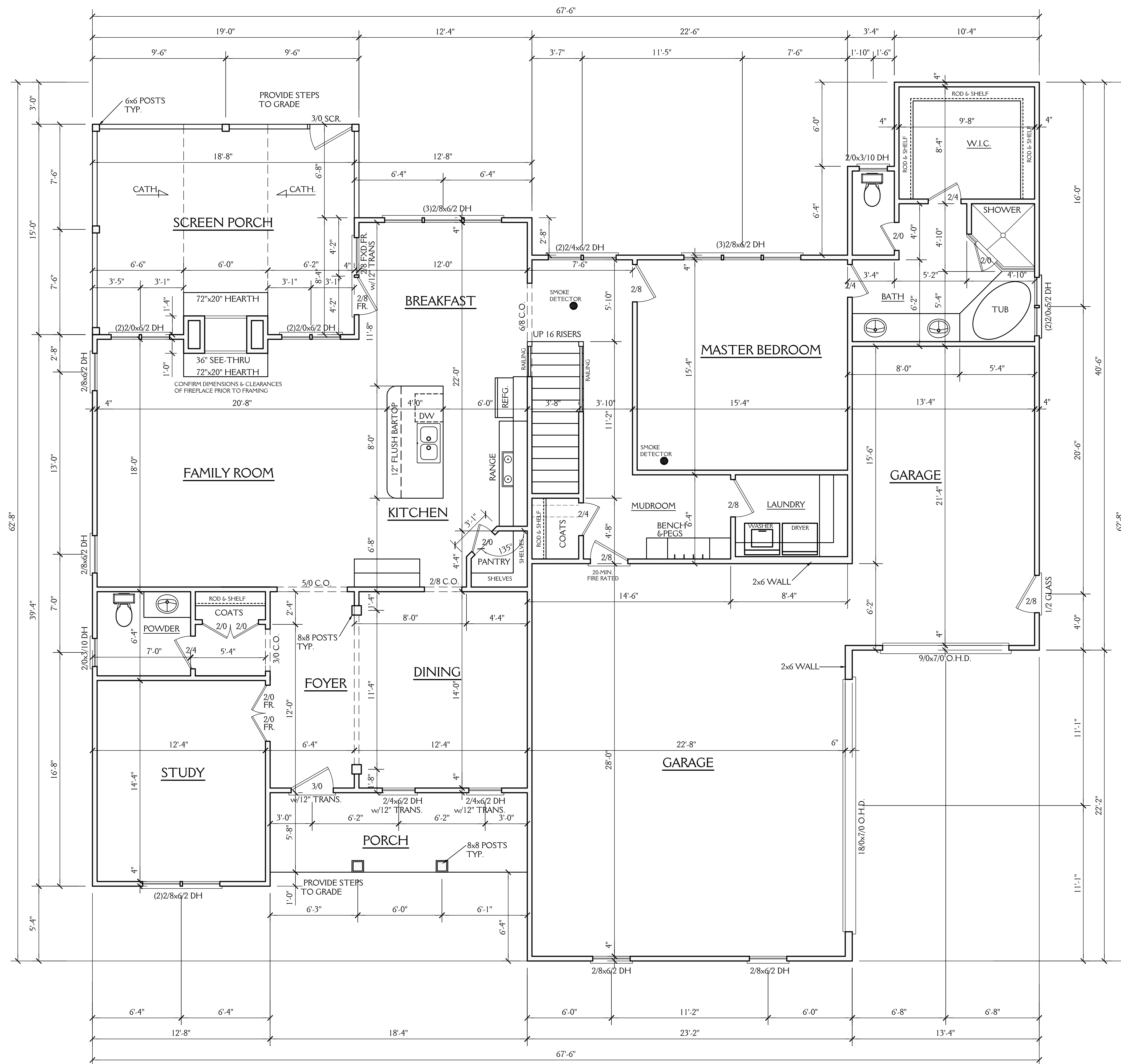
**LEFT ELEVATION**  
SCALE 1/4"=1'-0"

**New Light**  
Residential Design, L.L.C.  
919-880-1287

NORTH CAROLINA EXTERIORS LOT 27 WESLEY MANOR		SHEET <b>2</b> OF 5
DRAWN BY: JD	DATE: 9-7-18	PROJECT NO. 1845
REVISIONS:		

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- NOTES:**  
CONSTRUCTION TO MEET OR EXCEED ALL REQUIREMENTS OF THE 2012 NC RESIDENTIAL BUILDING CODE
- SEE SECTION R310 OF THE 2012 NC RESIDENTIAL BUILDING CODE FOR ALL EMERGENCY ESCAPE & RESCUE OPENING REQUIREMENTS.
  - BUILDER & WINDOW SALESMAN TO CONFIRM THAT WINDOWS CHOSEN MEET ALL REQUIREMENTS OF SECTION R310 OF THE 2012 NC RESIDENTIAL BUILDING CODE.
  - SEE SECTION R308.4 OF THE 2012 NC RESIDENTIAL BLDG. CODE FOR GLAZING REQUIREMENTS IN HAZARDOUS LOCATIONS
  - PROVIDE FALL PROTECTION AT WINDOWS AS REQUIRED BY 2012 NC RESIDENTIAL BUILDING CODE
  - ALL GLASS TO HAVE A U FACTOR OF 0.35 OR LESS AND SHGC OF 30 OR MORE.
  - SEE CHAPTER 11 OF THE 2012 NC RESIDENTIAL BUILDING CODE FOR ALL ENERGY CONSERVATION REQUIREMENTS
  - SEE SECTION R302.6 OF THE 2012 NC RESIDENTIAL BLDG. CODE FOR DWELLING/GARAGE FIRE SEPARATION REQUIREMENTS
  - SEE APPENDIX M OF THE 2012 NC RESIDENTIAL BUILDING CODE FOR ALL DECK CONSTRUCTION REQUIREMENTS
  - PROVIDE CARBON MONOXIDE DETECTORS AS PER SECTION R315 OF THE 2012 NC RESIDENTIAL BUILDING CODE
- ABBREVIATIONS**
- C.O. : CASED OPENING
  - D.W. : DISHWASHER
  - W.I.C. : WALK IN CLOSET
  - SHWR. : SHOWER
  - DN. : DOWN
  - TYP. : TYPICAL
  - CLG. : CEILING
  - HGT. : HEIGHT
  - COL. : COLUMN
  - TRANS. : TRANSOM
  - CANT. : CANTILEVER

**FIRST FLOOR PLAN**

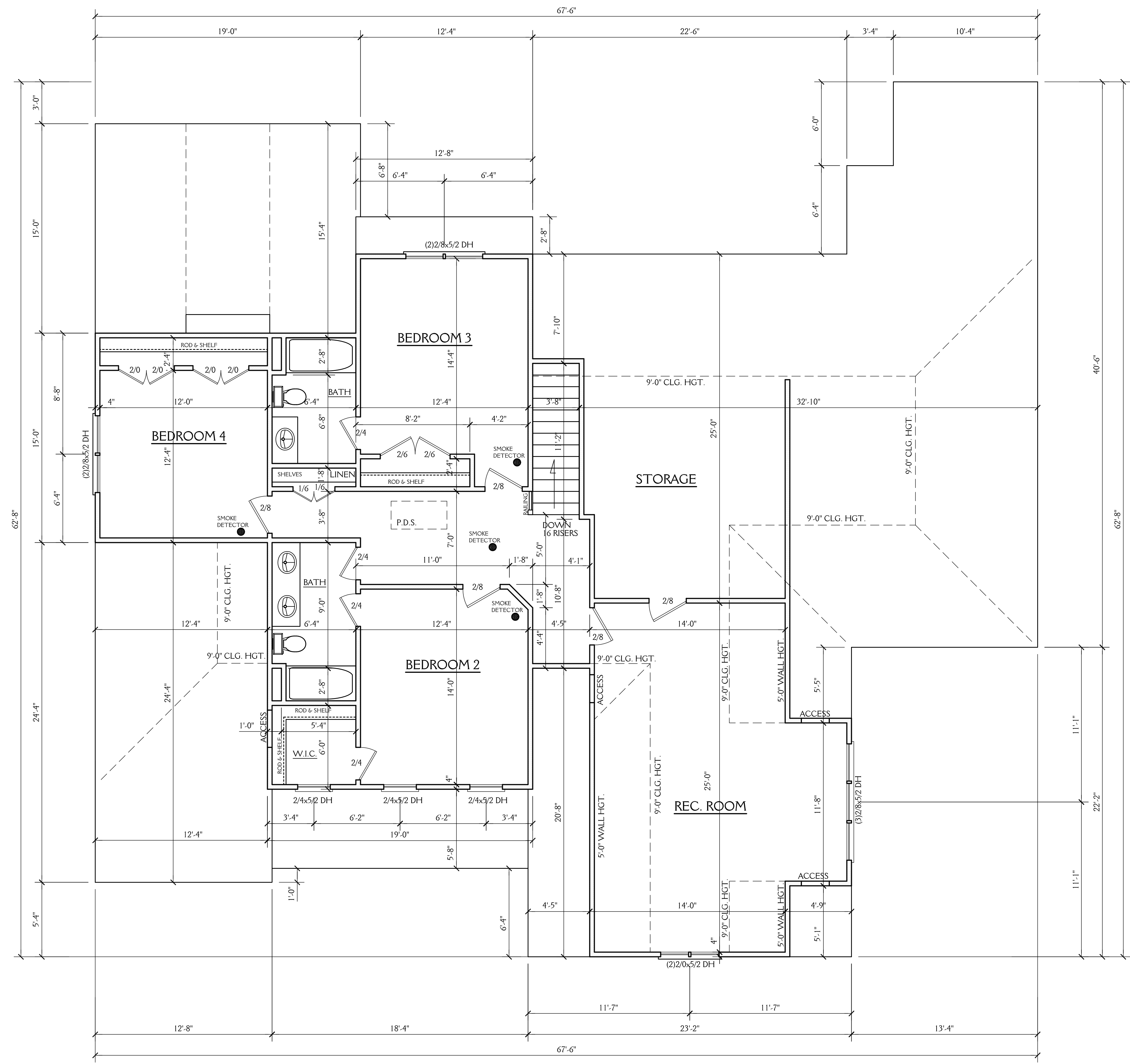
SCALE 1/4"=1'-0"  
9'-0" CLG. HGT.  
SET WINDOWS AT 7'-10" AFF

**New Light**  
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NORTH CAROLINA EXTERIORS LOT 27 WESLEY MANOR		SHEET <b>3</b> OF 5
DRAWN BY: JD	DATE: 9-7-18	PROJECT NO. 1845
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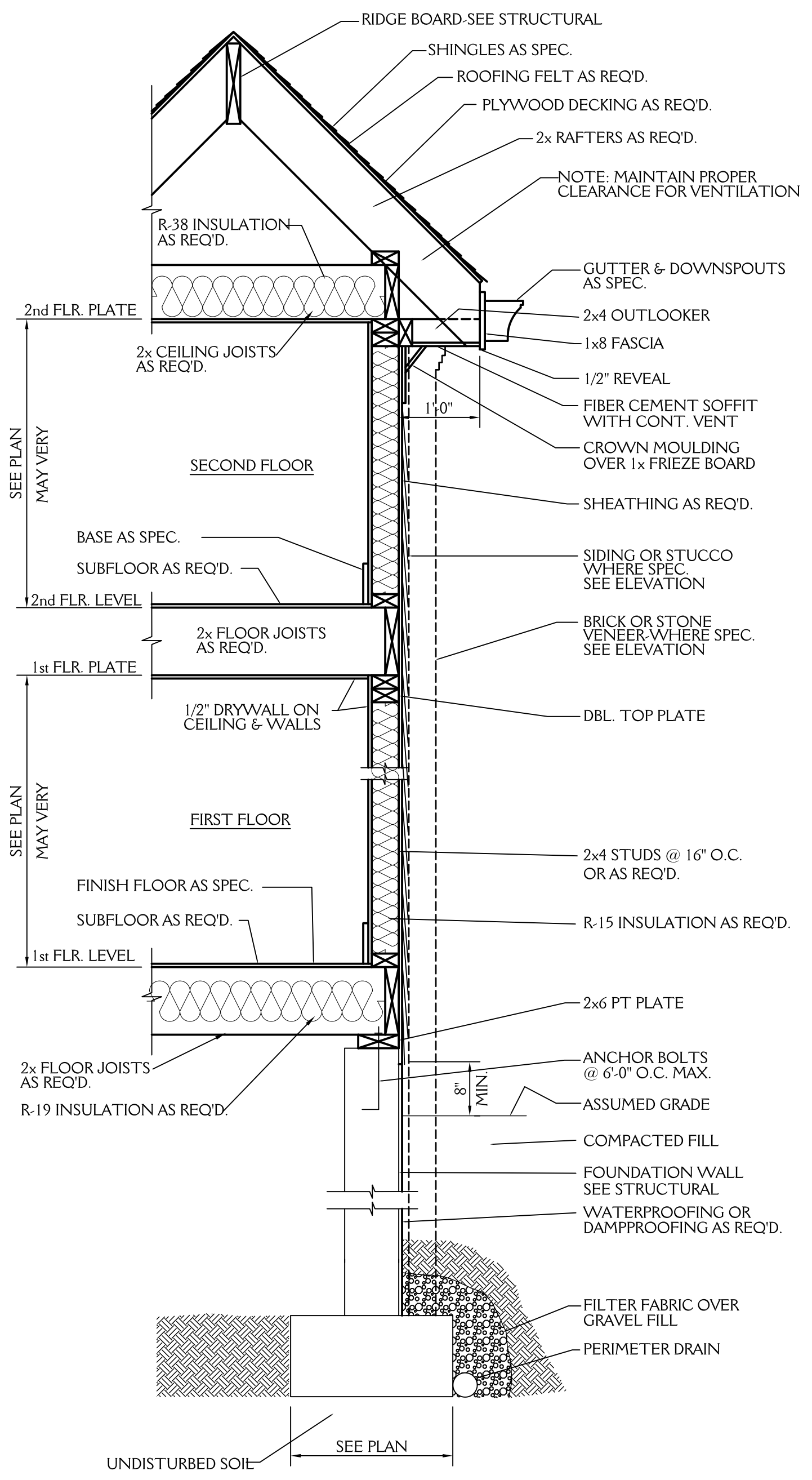
**SECOND FLOOR PLAN**

SCALE 1/4" = 1'-0"  
 9'-0" CLG. HGT.  
 SET WINDOWS AT 7'-4" AFF U.N.O.

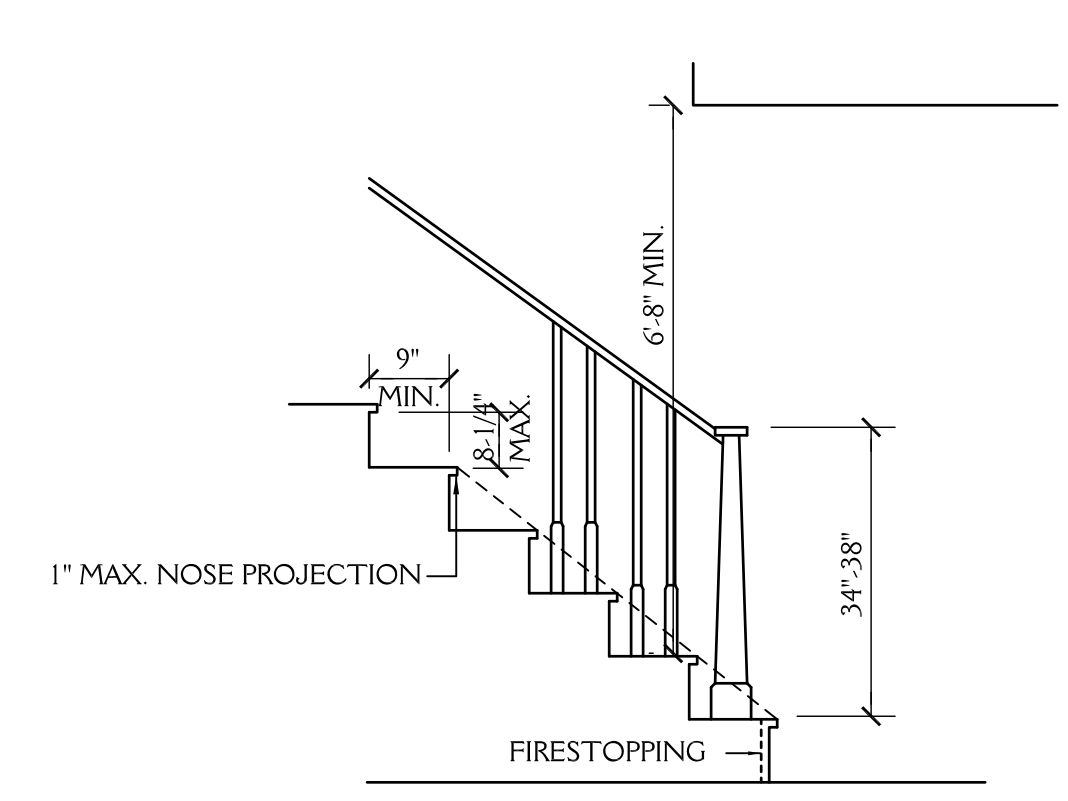


**New Light**  
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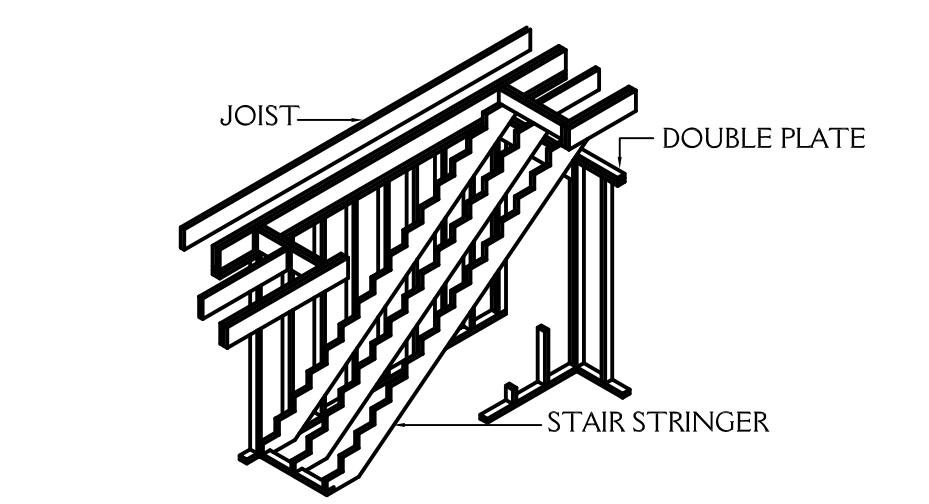
NORTH CAROLINA EXTERIORS LOT 27 WESLEY MANOR		SHEET <b>4</b> OF 5
DRAWN BY: JD	DATE: 9-7-18	PROJECT NO. 1845
REVISIONS:		



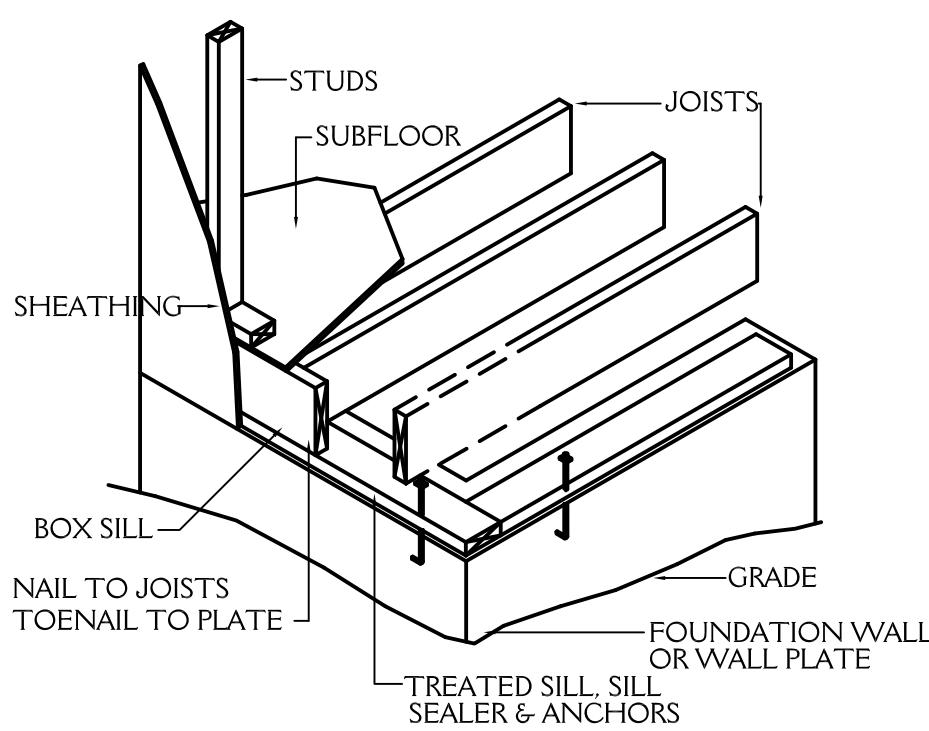
**TYPICAL WALL SECTION**  
3/4"=1'-0"



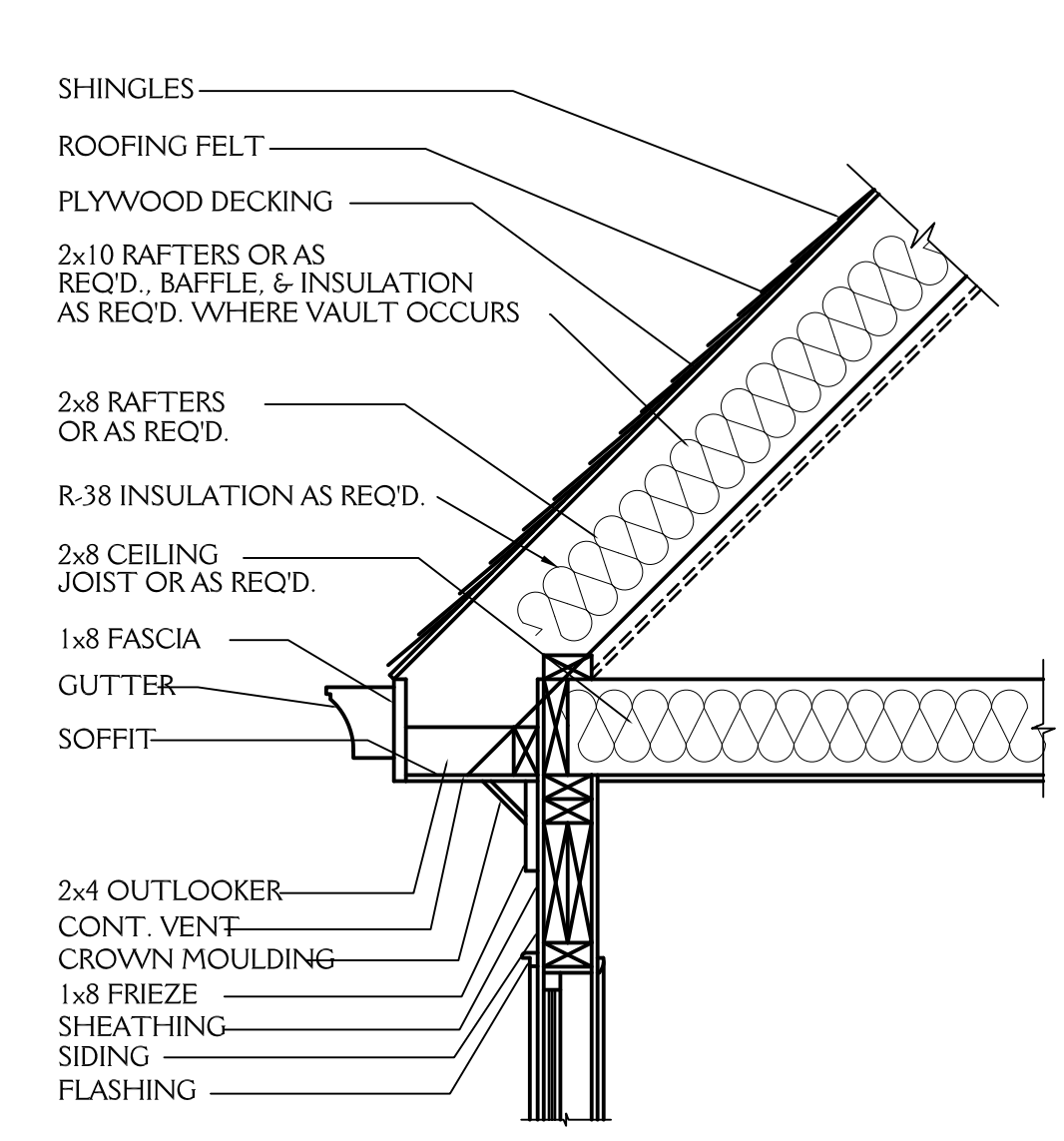
**STAIR DETAIL**  
SCALE: NTS



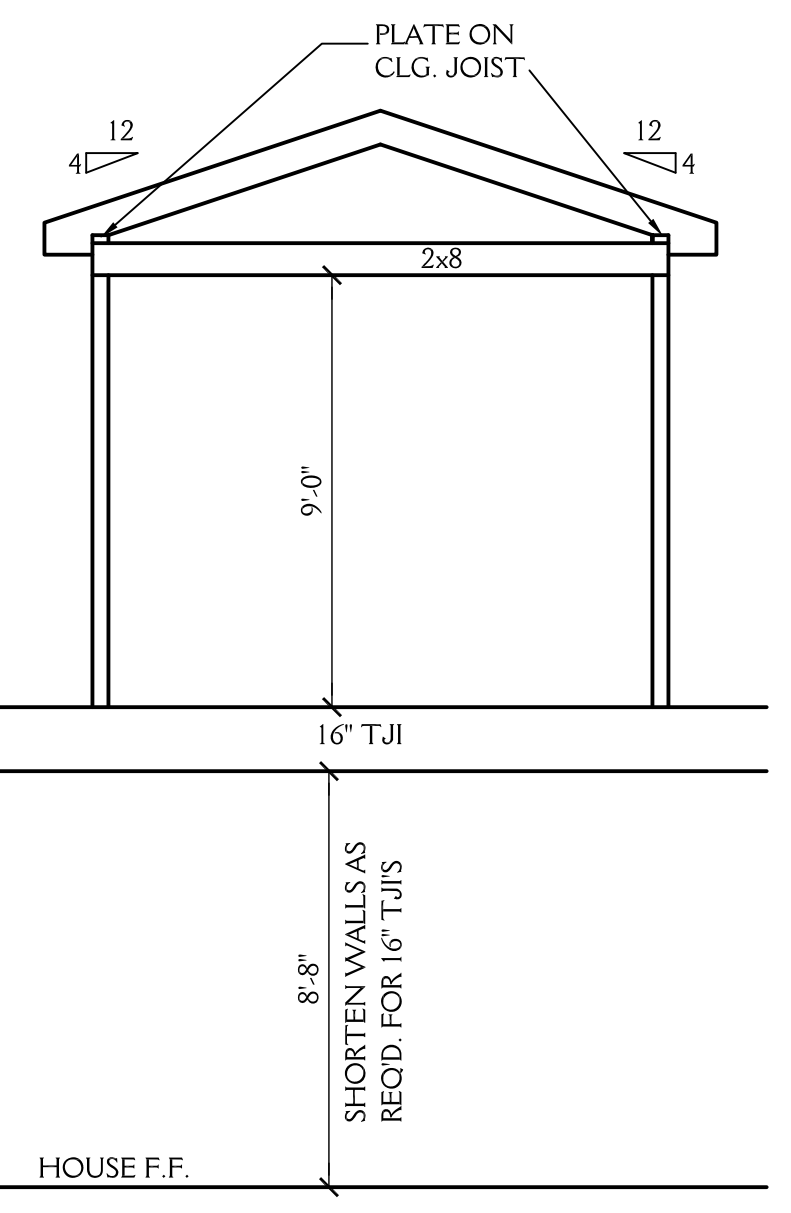
**STAIRWAY FRAMING**  
NTS



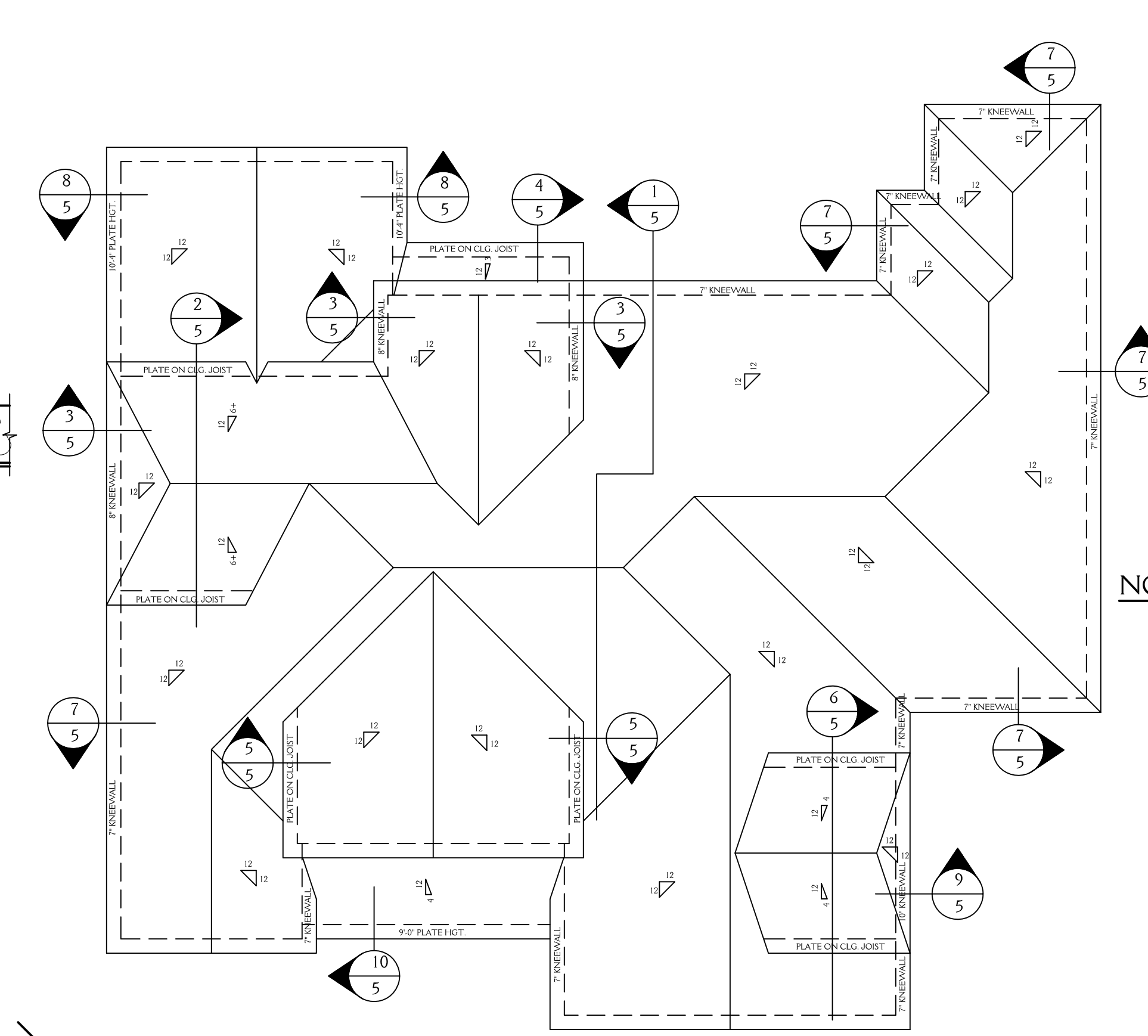
**FLOOR FRAMING**  
NTS



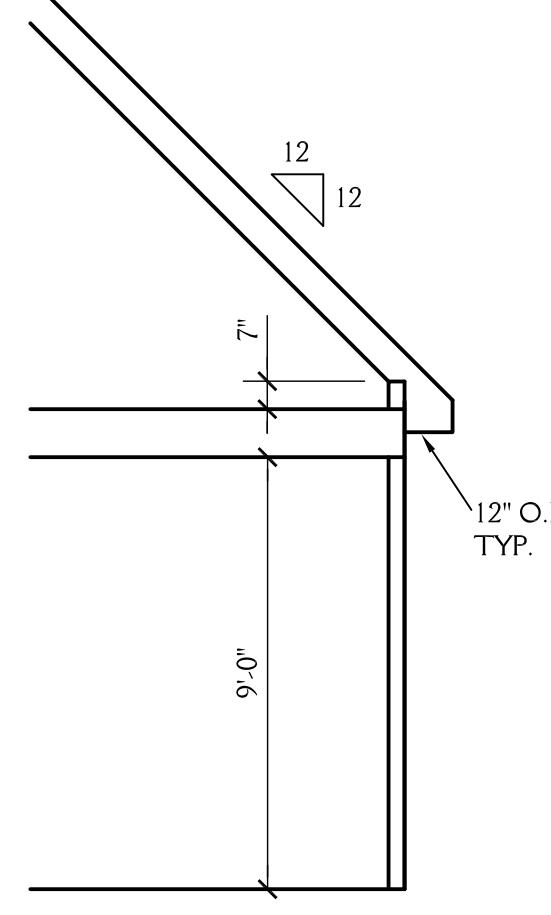
**CORNICE DETAIL**  
3/4"=1'-0"



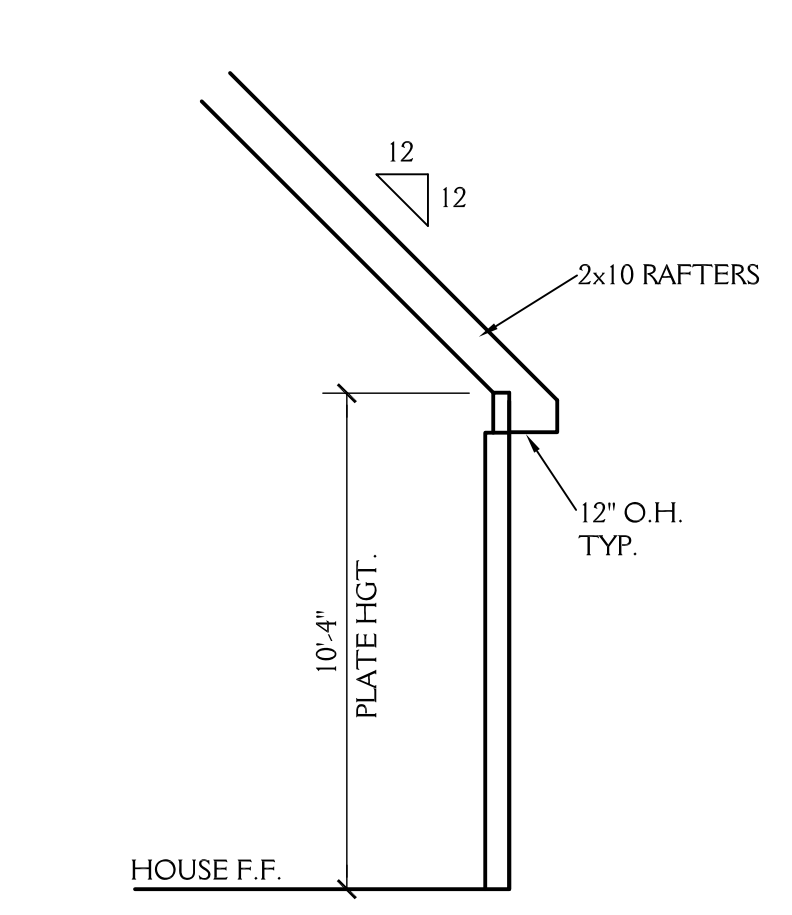
**6** SCHEMATIC SECTION  
**5** SCALE 1/4"=1'-0"



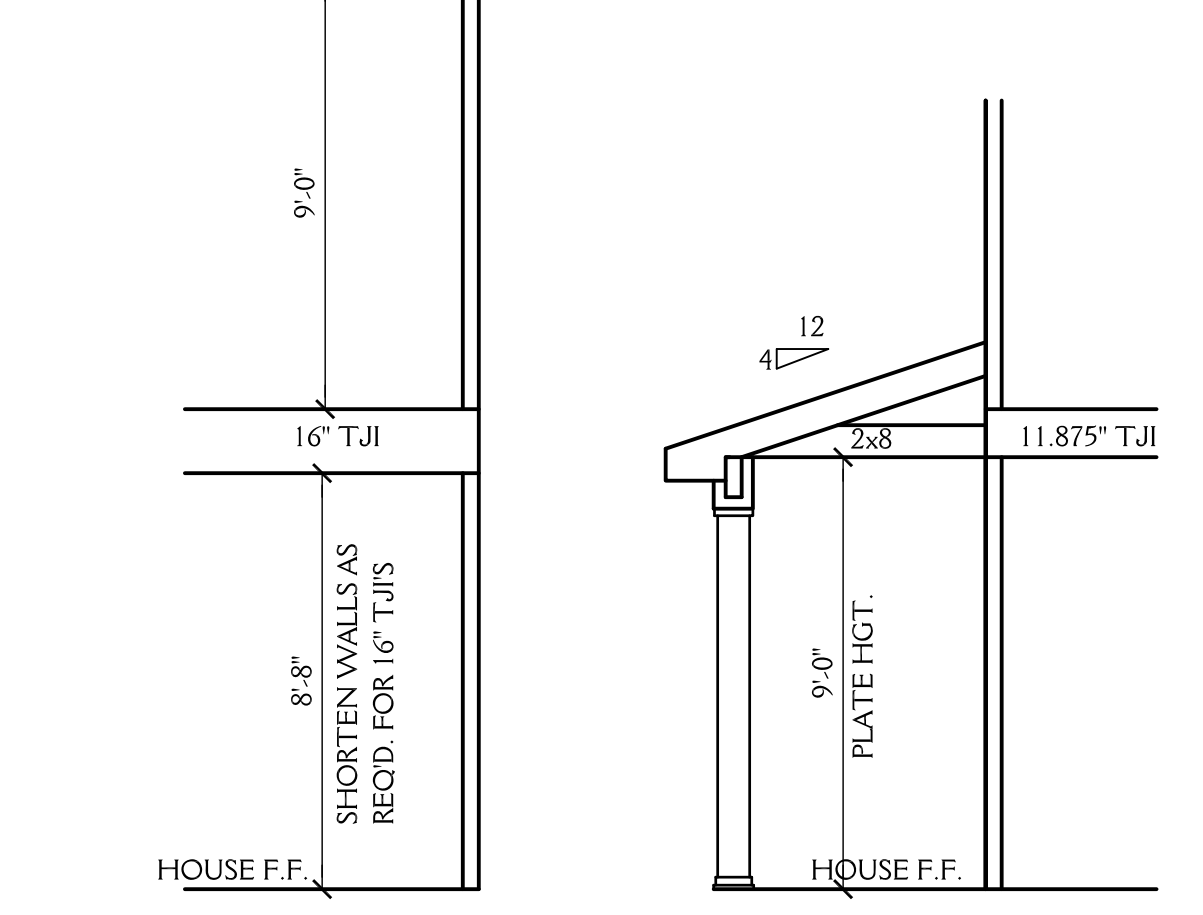
**ROOF PLAN**  
SCALE 1/8"=1'-0"



**7** SCHEMATIC SECTION  
**5** SCALE 1/4"=1'-0"



**8** SCHEMATIC SECTION  
**5** SCALE 1/4"=1'-0"



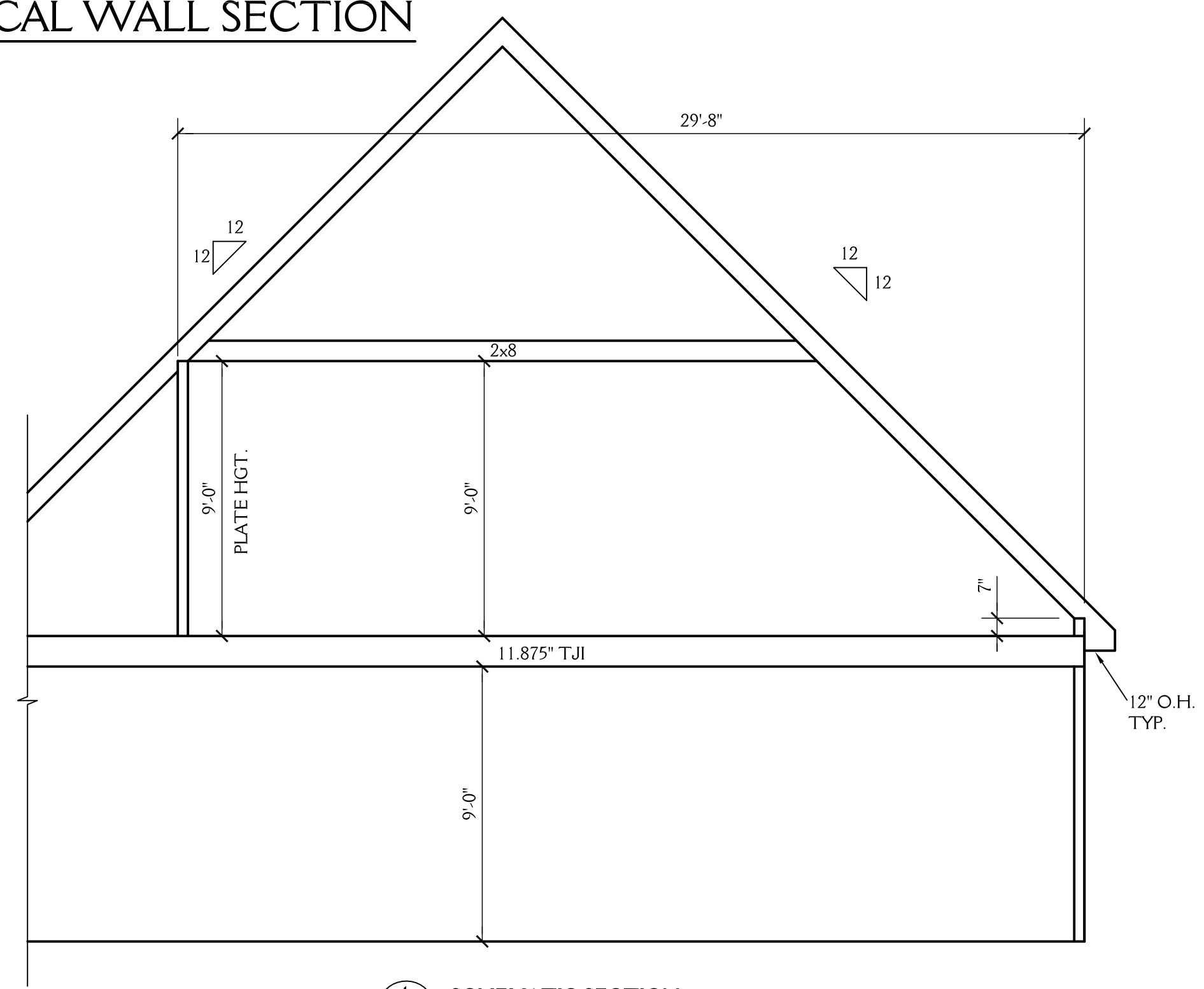
**9** SCHEMATIC SECTION  
**5** SCALE 1/4"=1'-0"

**10** SCHEMATIC SECTION  
**5** SCALE 1/4"=1'-0"

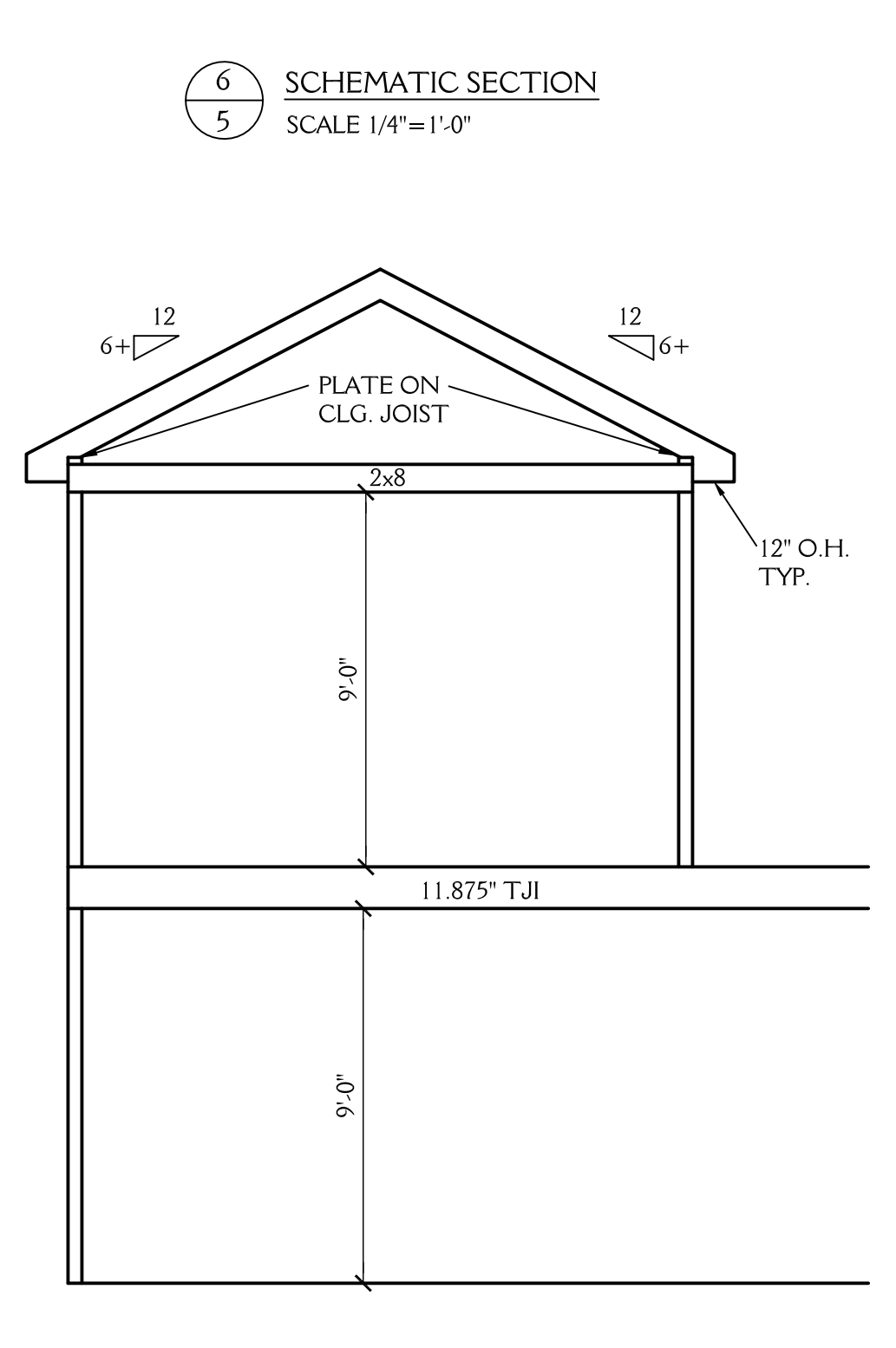
**ROOF VENT CALCS**  
3277 SQ.FT. / 150 = 21.85 SQ.FT. REQ'D  
BUILDER TO PROVIDE APPROPRIATE VENTILATION AS REQUIRED BY CODE  
SEE SECTION R806 OF THE 2012 NC RESIDENTIAL BLDG. CODE

**FND VENT CALCS**  
1783 SQ.FT. / 150 = 11.89 SQ.FT. REQ'D  
BUILDER TO PROVIDE APPROPRIATE VENTILATION AS REQUIRED BY CODE  
SEE SECTION R408 OF THE 2012 NC RESIDENTIAL BLDG. CODE

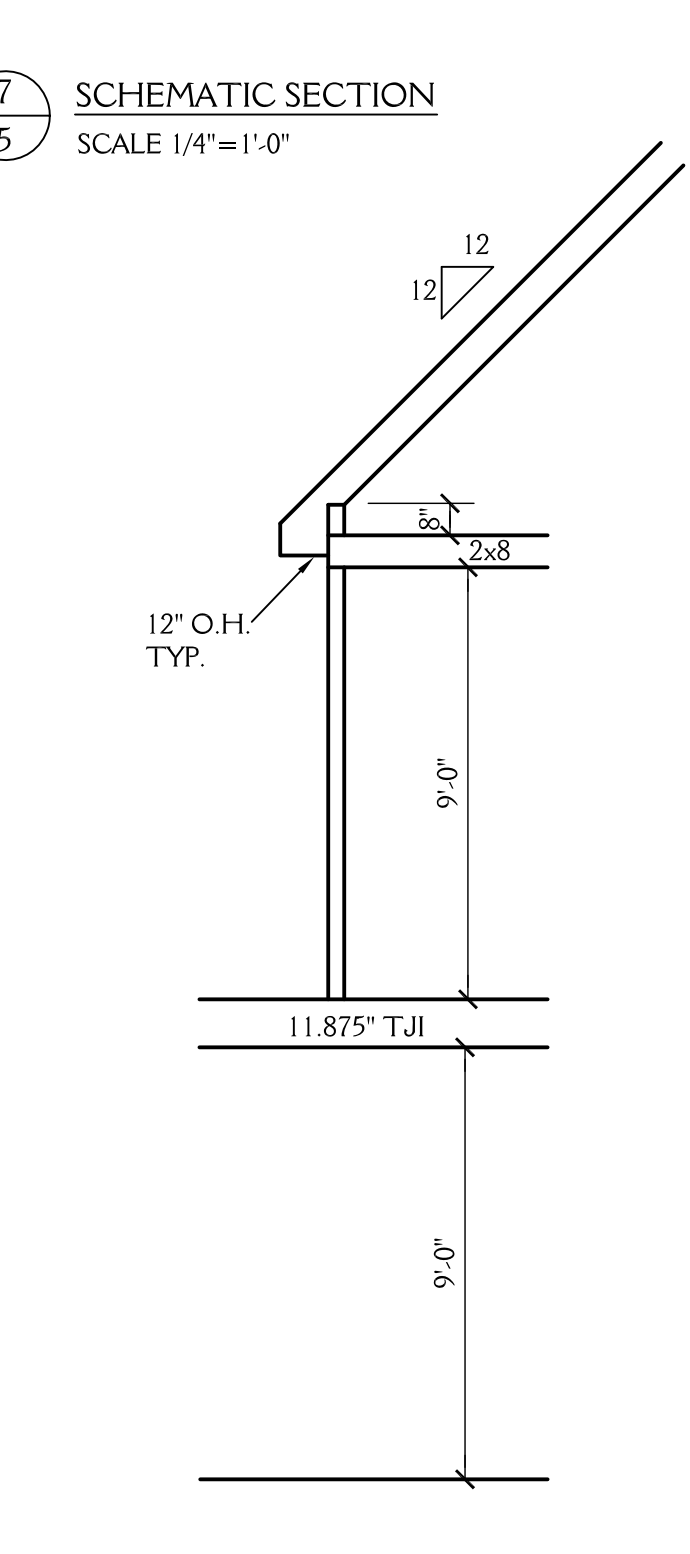
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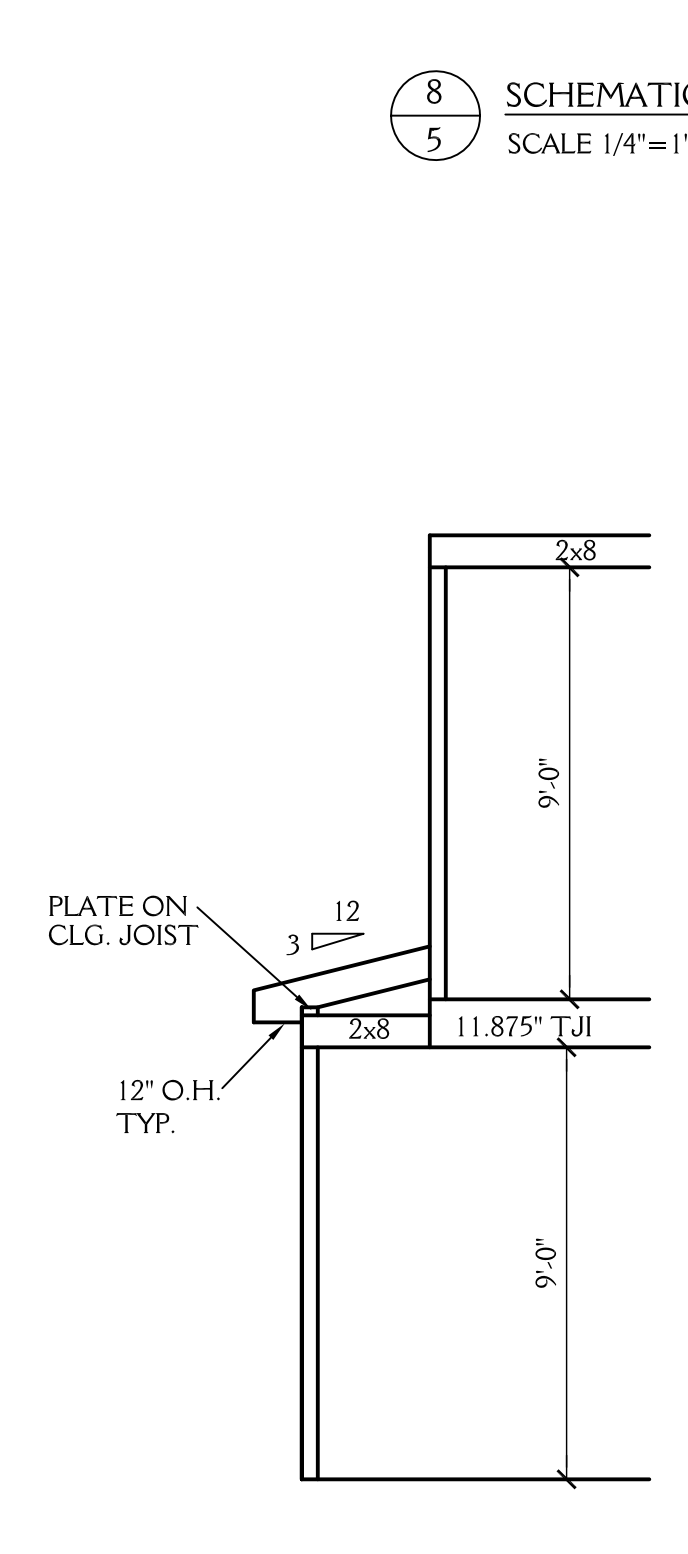
**1** SCHEMATIC SECTION  
**5** SCALE 1/4"=1'-0"



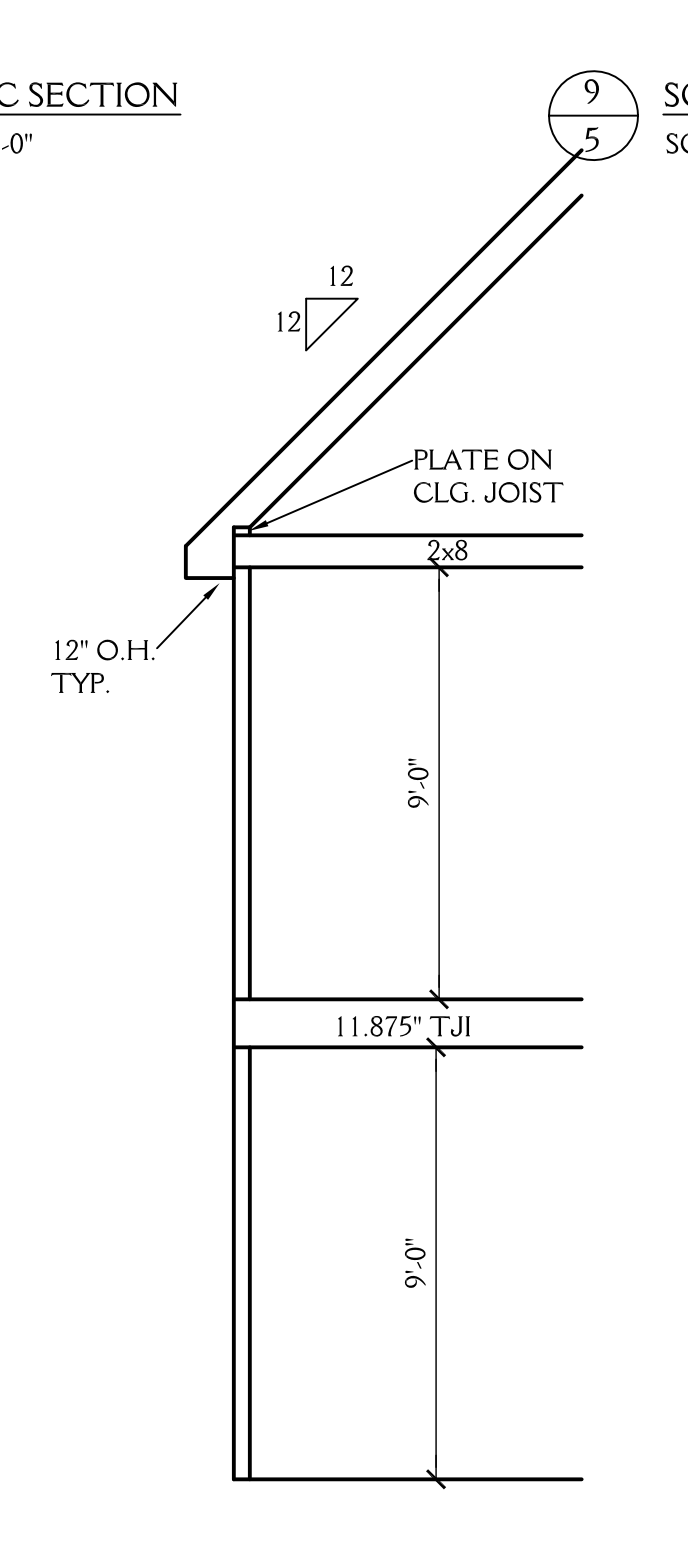
**2** SCHEMATIC SECTION  
**5** SCALE 1/4"=1'-0"



**3** SCHEMATIC SECTION  
**5** SCALE 1/4"=1'-0"



**4** SCHEMATIC SECTION  
**5** SCALE 1/4"=1'-0"



**5** SCHEMATIC SECTION  
**5** SCALE 1/4"=1'-0"

**New Light**  
**Residential Design, L.L.C.**  
919-880-1287

NORTH CAROLINA EXTERIORS LOT 27 WESLEY MANOR		<b>SHEET</b> <b>5</b> <b>OF 5</b>
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REVISIONS:		PROJECT NO. 1845